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**Draft**

**Medium Density Study**

– POST EXHIBITION REPORT –



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## **1. INTRODUCTION**

### **1.1 Overview**

Following the approval of grant funding from the NSW Department of Planning – Project Delivery Unit, Council commenced a review of the existing Medium Density Residential Development Controls in June 2022. The review aligns with Council's transition to a better place-based planning framework and additionally responds to priority actions identified within the adopted Wingecarribee Local Strategic Planning Statement (LSPS) and Local Housing Strategy (LHS), specifically –

LSPS:

- Planning Priority 4.1 (xi) - Introduce new development controls that ensure medium density development is in keeping with the desired future character of our towns and villages. (H).

LHS:

- Planning Priority 1 – Promote infill development and increased densities in appropriate locations and facilitate a greater mix of housing types to ensure our housing stock is reflective of the needs of our community.

Studio GL, who are a specialised urban design consultancy, were engaged to undertake this review. The Draft Medium Density Study (Draft Study) was developed in consultation with the community and industry, and the valuable feedback received from the various engagement opportunities directly informed the development of the Draft Study.

The Draft Study was placed on public exhibition for a period of four (4) weeks from 01 March to 31 March 2023. During this time, further targeted consultation occurred with the community and industry through a panel discussion session and formal written submissions. This report provides a comprehensive overview of outcomes from the exhibition period.

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## 1.2 About the Draft Medium Density Study

The housing stock currently available in the Wingecarribee Shire is often characterised by relatively large lot sizes compared to neighbouring Local Government Areas to the north, east and south. However, there is an apparent disconnect between the long-term housing needs for the Shire and the available housing stock. This is primarily due to the shift in our demographics, namely our aging population, changing household structures, shrinking household sizes and increase in lone person households. The Wingecarribee Local Housing Strategy (LHS), therefore, proposes a pathway to meet the growing demand for a greater mix of housing products by setting a target of a 50/50 split of infill and greenfield residential development.

The Draft Medium Density Study (Draft Study) responds to Planning Priority 1 of the LHS, which seeks to promote infill development and facilitate a greater mix of housing types that are reflective of the needs of the community. To achieve this, the Draft Study reviewed the existing medium density development controls that apply to land zoned R3 Medium Density, being land situated in Mittagong, Bowral, Moss Vale and Bundanoon and proposes a suite of new development controls which will inform a new Medium Density DCP chapter.

The Draft Study was supported by spatial analysis and informed by feedback received from Council staff, the community and industry representatives. The proposed medium density development controls in the Draft Study therefore expand upon existing controls and additionally recommend the inclusion of new controls, such as controls relating to site amalgamation, street presentation, landscaped open space, materials and colours and setbacks. The objective of proposing a new set of development controls that apply to R3 Medium Density zoned land, is to ensure that when medium density development occurs, it respects local character, supports good design outcomes and is in keeping with the community's expectations.



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## **2. PUBLIC EXHIBITION**

The Draft Medium Density Study was placed on public exhibition for a period of four (4) weeks from 01 March to 31 March 2023. During the exhibition period, the Draft Study was available to be viewed via the 'Document Library' on Your Say Wingecarribee and a hard copy was available at Customer Service at Council's Civic Centre, Moss Vale. In addition, a community and industry consultation session was organised and a number of formal submissions were received during this time. Community and industry representatives were additionally encouraged to provide their feedback online via the submission entry form which was available on the Your Say Wingecarribee project page. All feedback received during the public exhibition period has directly informed the post-exhibition review of the Draft Study and a summary of the outcomes of the consultation that occurred is detailed below.

### **2.1 Community and Industry Consultation**

A community and industry engagement session was held on Thursday 16<sup>th</sup> March 2023 between 5:00pm to 6:30pm in the Theatre, Civic Centre, Moss Vale. During the session a series of questions were directed to the three (3) panel members, which included Adan Davis – WSC Director Communities and Place, Diana Griffiths – Director Studio GL and Jennifer Macquarie – Director Fountaindale Group. In addition, participants were encouraged to ask the panel members their own individual questions and the discussion that occurred was centred around how to achieve “good” design outcomes and how the exhibited controls in the Draft Study will support greater housing diversity to meet the changing needs of the Shire.



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Approximately thirty-six participants attended the engagement session and an overview of the topics discussed include, but were not limited to:

- Relationship between Draft Study and the Local Housing Strategy
- Responding to changing demographics and understanding the Shire's response to the population forecast.
- What is medium density and why is it important?
- What is meant by good design and how the development presents to the street?
- What other design considerations influence the delivery of successful medium density (e.g. function, privacy, amenity, landscaping, etc).
- Proposed landscape requirements and how these will promote quality open space.
- Other infrastructure planning that has been identified to support our towns and villages.
- How will the proposed controls in the Draft Study encourage smaller housing products?
- Feasibility and market appetite for developing smaller housing products.

## 2.2 Written Submissions

Five (5) written submissions were received during the public exhibition period from a number of community groups and residents. A summary of the written submissions has been provided below.

Name	Submission Summary	Staff Response
Friends of Bowral	<p>The submission raises a series of concerns, including:</p> <ul style="list-style-type: none"><li>• The threat that medium density development poses to the preservation of character and the need for character statements to be prepared in order to not compromise the identity of the towns.</li><li>• The Draft Study does not consider the New Living Areas, business centres or seniors housing.</li></ul>	<p>Noted.</p> <ul style="list-style-type: none"><li>• The purpose of the recommended controls is to ensure that when future medium density development occurs that it respects local character, supports good design outcomes and is in keeping with the community's expectations.</li><li>• The project brief required the review of existing R3 Medium Density zoned land, therefore the Draft Study does not take into</li></ul>

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	<ul style="list-style-type: none"> <li>• Questions the rationale for more intense development in the Shire's R3 zones, other than to assist the Government to meet housing targets.</li> <li>• The effects of the proposed R3 changes on other planning instruments.</li> <li>• The impact of increasing Floor Space Ratios in particular areas and negative consequences this will have on amenity, visual appearance, density, liveability, heritage values and the balance of residential and commercial needs.</li> <li>• Limited community consultation, with only two community consultation sessions being conducted.</li> <li>• The final draft Planning Proposal should be re-exhibited before progressing to a Gateway Determination.</li> </ul>	<p>consideration Employment Zones or the six new living areas identified in the Local Housing Strategy. In regards to seniors housing, such development is permitted with consent in R3 Medium Density zones and development controls are available the existing DCPs. In addition, it is important to note that seniors housing can also be achieved through a separate planning mechanism called the Housing State Environmental Planning Policy (SEPP), which overrides local development control plans and therefore has not been included as part of this project.</p> <ul style="list-style-type: none"> <li>• The exhibited Draft Study recommended the increase of the FSR of land zoned R3 Medium Density north of the Mittagong Rivulet from 0.5:1 to 0.6:1. Post public exhibition, this recommendation has been changed and the existing FSR of 0.5:1 has been proposed to be retained to limit the impact of views to Mount Gibraltar.</li> <li>• More information regarding the public exhibition of the Draft Study is available in section two (2) of this Post-Exhibition Report.</li> <li>• The adopted recommendation from the 15 February 2023 Ordinary Meeting of Council, states that the Planning Proposal reflect recommendations from the Study and progress to a Gateway Determination. However, as the Draft Study has not yet been adopted by Council and its intent is to inform</li> </ul>
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		a new Medium Density DCP chapter, it is proposed that the Planning Proposal form part of the next body of strategic work and be presented to Council at a later date.
Bundanoon Community Association	<p>The submission expresses that the Draft Study provides a strong guidance for appropriate medium density development and identify that they are generally supportive of a number of elements, including:</p> <ul style="list-style-type: none"> <li>• The expression of the character of Bundanoon.</li> <li>• Deep Soil Controls</li> <li>• Active Transport Facilities</li> <li>• Electric Vehicle Charging Capacity</li> </ul> <p>A number of concerns with the Draft Medium Density Study have been referenced through the submission and include:</p> <ul style="list-style-type: none"> <li>• There are important community facilities adjacent to and within the study area that have been missed.</li> <li>• Bundanoon is not shown in the General Recommendations section of the Draft Study.</li> <li>• The overall compatibility of medium density with the current village character.</li> <li>• Questions the retainment of the existing FSR in Bundanoon.</li> <li>• Proposes that when amalgamation occurs that a masterplan be prepared.</li> <li>• Concerned regarding the potential future use of two identified lots, being Quest for Life</li> </ul>	<p>Noted.</p> <ul style="list-style-type: none"> <li>• The Local Character section of the Draft Study has been updated to reference the community facilities available in Bundanoon.</li> <li>• Bundanoon is not featured in the General Recommendations section of the Draft Study as there are no proposed changes to the existing FSR or building heights.</li> <li>• The FSR controls for Bundanoon are considered appropriate given the context, size and available amenities of the centre.</li> <li>• The identification of the Quest for Life and 7-11 Burgess Street lots being as 'unconstrained lot' was determined through the application of an assessment matrix that took into consideration lot width, heritage, conservation areas, strata, flooding and slope. Existing community facilities will remain and Council is not proposing any development at this point in time. Despite these properties being identified as unconstrained lots with potential medium density opportunity, they are subject to further investigation and community engagement.</li> </ul>

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	Foundation and 7-11 Burgess Street, as both properties were identified as unconstrained lots.	
J. Davenport	Queries why the Draft Study is restricted to Mittagong, Bowral, Moss Vale and Bundanoon and why there has been no medium density housing proposed for Burradoo.	Noted. The objective of the Draft Study was not to consider the identification of new areas for medium density development to occur in the Shire. The scope was therefore focused on the review of the existing development controls that apply to existing R3 Medium Density zoned land in Mittagong, Bowral, Moss Vale and Bundanoon.
J. Human	Expresses disappointment at the rate of medium density housing developments occurring in Bowral currently and raises concerns regarding the loss of local character. Further identifies that when development occurs that there should be a requirement for upgrades to occur to infrastructure.	<p>Noted. The overall objective of the Draft Study was to review the existing controls that apply to areas currently zoned R3 Medium Density.</p> <p>Further, the purpose of the recommended controls is to ensure that when future medium density development occurs that it respects local character, supports good design outcomes and is in keeping with the community's expectations.</p> <p>There are several key infrastructure upgrades currently underway or scheduled to commence, that will contribute to the delivery of priority actions, such as the upgrade to the capacity of the three sewerage treatment plants (STP) and the review of development contributions, which has been identified in the strategic works program.</p>
N. Corbett	The submission expresses a number of general concerns in regards to medium density development in the Shire, including:	<p>Noted.</p> <ul style="list-style-type: none"> <li>The Draft Study responds to Planning Priority One (1) of the Local Housing Strategy which seeks to '<i>Promote infill development and</i></li> </ul>

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	<ul style="list-style-type: none"> <li>• The threat to protected cultural heritage values.</li> <li>• Depriving future generations of experiencing places of great cultural significance.</li> <li>• Capacity of existing infrastructure.</li> <li>• Preserving not demolishing existing house stock as this poses greater environmental implications.</li> <li>• Affordable housing is unattainable.</li> <li>• Loss of local habitat.</li> </ul> <p>The submission further presents specific feedback in response to the proposed controls in the Draft Medium Density Study, including:</p> <ul style="list-style-type: none"> <li>• The location of R3 zoned areas are outdated and need review. Medium density should only be planned for green field sites.</li> <li>• The Bowral, Moss Vale and Mittagong conservation areas should be extended.</li> <li>• Vigorously opposes the increase in building height in Bowral's Zone B, due to visual impact and overshadowing concerns.</li> <li>• The character of Bowral is lost when footpaths are constructed, street trees are removed, and narrow streets are widened.</li> <li>• Proposes that the minimum side setback for medium density developments should be 5 metres.</li> <li>• The reduction of open space from 50% to 40% diminishes the planning outcomes of Bowral.</li> </ul>	<p><i>increased densities in appropriate locations and facilitate a greater mix of housing types to ensure our housing stock is reflective of the needs of our community.'</i> The purpose of the Draft Study is, therefore, to ensure that when medium density development occurs that it respects local character, supports good design outcomes and is in keeping with the community's expectations.</p> <ul style="list-style-type: none"> <li>• There are several key infrastructure upgrades underway or scheduled to commence that will contribute to the delivery of priority actions, such as the upgrade to the capacity of the three sewerage treatment plants (STP) and the review of development contributions, which has been identified in the strategic works program.</li> <li>• The exhibited Draft Study recommended the increase of the FSR of land zoned R3 Medium Density north of the Mittagong Rivulet from 0.5:1 to 0.6:1. Post public exhibition, this recommendation has been changed and the existing FSR of 0.5:1 has been proposed to be retained to limit the impact of views to Mount Gibraltar.</li> <li>• The existing minimum side setbacks were deemed appropriate, however where upper storeys are permissible, a 45-degree angled plane is recommended in order to minimise bulk and scale. Diagram available on page 60 of the Draft Study.</li> </ul>
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	<ul style="list-style-type: none"> <li>• Recommends external exhaust systems not be permitted.</li> <li>• Expresses the importance of ensuring pedestrian access.</li> <li>• The bulk and scale of low-rise apartments need to be taken into consideration.</li> </ul>	<ul style="list-style-type: none"> <li>• The Draft Study proposes that the minimum percentage of open space required to be reduced to 40% of any site developed for multi dwelling housing and recommends an additional control that defines minimum dimensions (1.5m). This is to ensure that open spaces are larger and not just the 'left over' spaces.</li> <li>• A number of draft controls have been proposed as a means to ensure pedestrian access, such as the promotion of active transport and the requirement for all ground floor dwellings facing the street to have individual pedestrian entries to the street.</li> <li>• The Draft Study recommends new controls that address character, bulk, scale and site setbacks. However, in response to low-rise apartments, this is achieved via the Housing State Environmental Planning Policy (SEPP) and the Apartment Design Guide (ADG). The design outcomes relating to bulk and scale of low-rise apartments are therefore influenced by the criteria referenced within the two State planning policies.</li> </ul>
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### 2.3 Your Say Wingecarribee Submission Entry

Six (6) submissions were received online via the submission entry form which was available on the Your Say Wingecarribee project page during the public exhibition period. A summary of the online submissions has been provided below.

Name	Submission Summary	Staff Response
A. Poppelwell	Queries the reason as to why the brief was confined to the three main town centres and Bundanoon.	Noted. The scope of the project was focused on the review of development controls that applied to existing R3 Medium Density zoned land in the Shire and was therefore restricted Mittagong, Bowral, Moss Vale and Bundanoon, which have existing R3 Medium Density zoned land.
B. Townsing	Supports the recommendation on page 48 to reduce the FSR in the Shepherd Street, Bowral medium density area from 0.5:1 to 0.4:1, due to the proximity of this area to the Bowral heritage conservation area (HCA). Further proposes that all the Shepherd Street medium density area should be captured in the Bowral HCA.	Noted. The extension of Bowral's Heritage Conservation Areas (HCA) did not form part of the scope of the project.
C. Pearce	<p>Raises concern for the over development of residential areas in the Shire and wants to avoid the outcomes of metro Sydney. In particular, the submission recognises the concern of medium density resulting in parking congestion, overcrowding, noise pollution, loss of privacy, visual impacts and overshadowing.</p> <p>Further emphasises the importance of maintaining the existing character of the Southern Highlands. Suggests that this can be achieved by enforcing controls in the Development Control Plans (DCP) that ensure that when development occurs that it reflects the style and character of neighbouring</p>	<p>Noted. The scope of the project was to review the Medium Density Controls that apply to existing Medium Density (R3) zoned land, being land situated in Mittagong, Bowral, Moss Vale and Bundanoon.</p> <p>The purpose of the review is therefore to support a greater diversity of housing types and ensure that when future medium density development occurs that it respects local character, supports good design outcomes and is in keeping with the community's expectations. To achieve this, the Draft Study proposes a series of controls that relate to design, street presentation, materials and colours and landscaping.</p>

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	houses, are recycled brick and weatherboard, have front verandas, gardens of exotic plants rather than natives, post and rail and picket fences, deciduous trees and front hedges.	
S. Blacker	<p>Identifies a number of concerns, including:</p> <ul style="list-style-type: none"> <li>Existing character of the Shire as a regional, bushland and heritage centre.</li> <li>The requirement of areas for soft landscaping should be a minimum of 50% to ensure the bushland and garden setting and to provide sufficient screen.</li> <li>Maximum building height to not exceed two storeys to maintain local character but this does not include basement parking or attic space.</li> <li>Building height to be limited where views occur (e.g. Mount Gibraltar).</li> <li>Setbacks should be sufficient to allow landscape screening.</li> <li>Native plantings encouraged with maintenance regularly scheduled.</li> <li>No demolition of older houses or buildings, even if it is not a heritage item or falls outside of a heritage conservation area.</li> </ul>	<p>Noted.</p> <ul style="list-style-type: none"> <li>The Draft Study proposes that the minimum percentage of open space required to be reduced to 40% of any site developed for multi dwelling housing and also recommends an additional control that defines minimum dimensions (1.5m). This is to ensure that open spaces are larger and not just the 'left over' spaces. In addition to this, it is recommended that 50% of the required open space / landscaped area allow for deep soil landscaping to support mature trees.</li> <li>The Draft Study identifies the three (3) maximum building height sub-zones that apply to R3 Medium Density zoned land in Mittagong, Moss Vale, Bowral and Bundanoon, being sub-zones A (6 metres), B (9 metres) and C (11 metres). It is recommended that development must confirm to the respective sub-zone. Additional controls have been proposed that suggest that any additional storey in sub-zones A and B must be set within the roofline and conform with maximum building envelopes.</li> </ul>

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		<ul style="list-style-type: none"> <li>The exhibited Draft Study recommended the increase of the FSR of land zoned R3 Medium Density north of the Mittagong Rivulet from 0.5:1 to 0.6:1. Post public exhibition, this recommendation has been changed and the existing FSR of 0.5:1 has been proposed to be retained to limit the impact of views to Mount Gibraltar.</li> </ul>
T. O'Meara	<p>Recognises that the focus on amalgamation is a good start, however, recommends that minimum lot width and site size for medium density developments need to be increased not relaxed or bonuses proposed. Identifies that the diagram on page 55 of the Draft Study is a poor example of how medium density should occur, as they do not retain existing vegetation, present poor layouts, lack of landscaping along the driveway and do not promote a sense of place.</p> <p>Other concerns and suggestions include:</p> <ul style="list-style-type: none"> <li>Battle axe developments should be discouraged.</li> <li>Site amalgamation should increase street frontage to over 50m.</li> <li>45-degree planning controls for setbacks will create a monotonous built form.</li> <li>Ensure privacy and limit overlooking.</li> <li>Communal open space cannot be located next to a dwelling, as shown on Page 72.</li> <li>Mock heritage discouraged and a variety of architectural styles desirable.</li> </ul>	<p>Noted.</p> <ul style="list-style-type: none"> <li>The Draft Study identifies that where appropriate for site amalgamation to occur that there is an opportunity to reduce the number of driveways and increase the potential area for landscaping and pedestrian pathways.</li> <li>The purpose of the recommended 45-degree angled plane is to reduce the bulk and scale of new development.</li> <li>The Draft Study proposes a number of controls that look to strengthen privacy, such as identifying new qualitative controls to increase setbacks between neighbours and living spaces.</li> <li>The purpose of the Draft Study is to encourage good design outcomes that align with the expectations of the community. For example, a control has been recommended to be added which promotes the use of high quality and durable materials that are suitable for the local climatic conditions.</li> </ul>

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WEDNESDAY 19 JUNE 2024**



	<ul style="list-style-type: none"> <li>Promote high quality design and bonuses should be available to encourage high quality design, amenity, community spaces and sustainability.</li> </ul>	
R. & T. Morrow	Expresses disappointment in the lack of inclusion of other villages for medium density residential zones, particularly Yerrinbool. Seeking Council to include Yerrinbool in the process.	Noted. The objective of the Draft Study was not to consider the identification of new areas for medium density development to occur in the Shire. The scope was focused on the review of development controls that apply to existing R3 Medium Density zoned land, being land in Mittagong, Bowral, Moss Vale and Bundanoon.

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**Wingecarribee Shire**  
**MEDIUM DENSITY STUDY**

Final Report  
Prepared by Studio GL for Wingecarribee Shire Council  
January 2024




**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Document Information

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Final 1	12/01/24	AN	DG

Note: This document takes into account the particular instructions and requirements of our client. It is not intended for and should not be relied upon by any third party and no responsibility is undertaken to any third party. The report layout is designed to be printed at A4 portrait.

The logo for Studio GL, featuring the word "STUDIO" in a vertical stack of letters to the left of a large, stylized "GL" monogram.

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# AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

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### Appendix A- Planning Controls

### Appendix B- Stakeholder Engagement



Chapter 1  
Introduction

- 1-1 Overview
- 1-2 The Study Area

## 01 Introduction

### 1-1 Overview

#### Purpose of this study

In 2020, Wingecarribee Shire Council adopted its Local Housing Strategy (LHS) which addresses the long-term housing needs of the growing community with increased housing stock and housing diversity that is in keeping with the community's expectations. The Council recognised that there is a growing demand for a greater mix of housing types within the LGA, particularly for smaller houses, and a desire to retain the local character of the Shire's towns and villages.

The LHS contains a specific action to review the existing Medium Density Development Control Plans (DCP) to remove any unnecessary barriers to facilitating more diverse housing options in appropriate locations.

In 2022, Wingecarribee Shire Council commissioned Studio GL to undertake a review of Wingecarribee Shire Council's Medium Density Development Controls. This review is expected to inform a new comprehensive Medium Density DCP chapter that is currently being prepared by Council, that will address medium density development across the LGA.

The overarching aim is to encourage appropriate, well designed and well integrated development that enhances and supports the character of the study area, whilst also recognising the benefits that can be gained by providing attractive medium density dwellings in this location.

#### The Study area

The focus of this review is on areas where existing medium density is located across the LGA. Currently medium density only occurs in the towns of Bowral, Mittagong, Moss Vale and Bundanoon.

#### Methodology

The process began with a wide ranging and comprehensive review of the current Local Environmental Plan (LEP) and Development Control Plan (DCP) planning documents. The review highlighted key issues relating to development that was occurring in the Local Government Area (LGA) and the impact on local character.

A photographic study of the study area was also undertaken which has helped to identify the character of the area (i.e. building heights, setbacks, driveways, fences and materials) and provided insights into potential applicable development controls for the area.

This study was supported by a spatial analysis of the study area which identified existing urban design qualities such as the street and block structure, built form patterns, street proportions (width and height), heritage character, built form age and use, and the topography, landform and intersection density.

A series of workshops were held with Council staff, local community members, landowners and developers. These workshops allowed the findings and preferred direction to be discussed and tested.



Figure 1 Wingecarribee town centres with medium density investigated for this study

## 02 Local Character

### 1-2 The Study Area

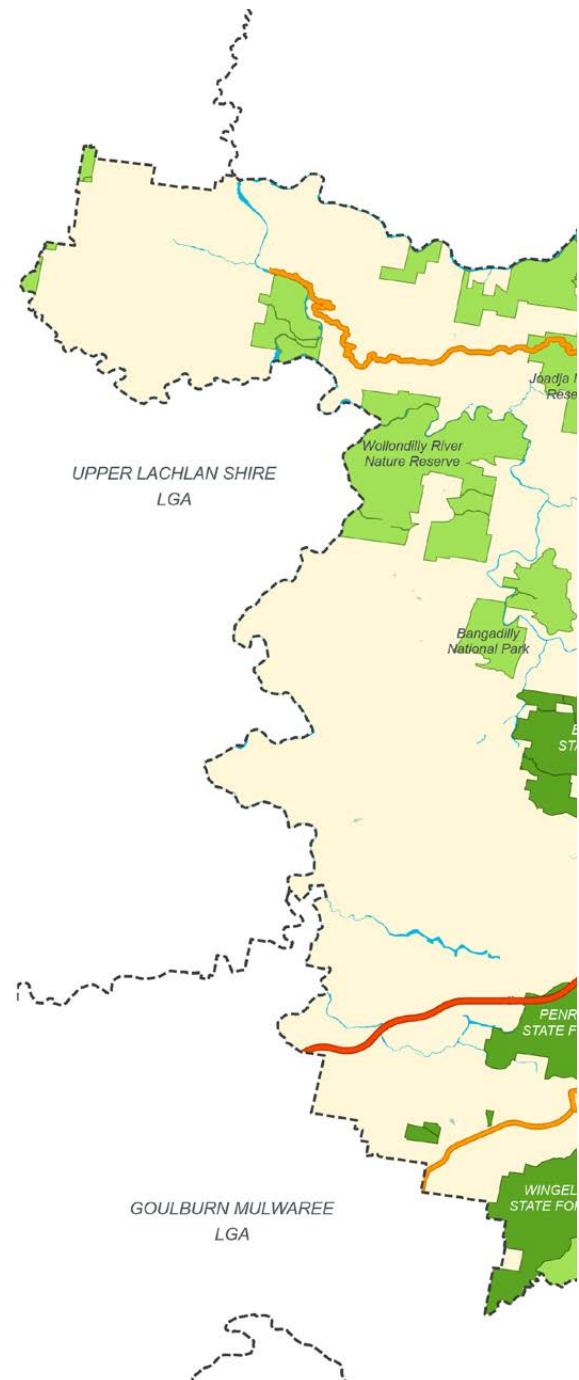
Wingecarribee LGA is situated in the Southern Highlands Region of New South Wales. The Shire covers an area of approximately 2700km<sup>2</sup>.

The LGA is located within the Sydney – Canberra – Melbourne transport corridor on the Southern railway line, and is 110km southwest of Sydney (approximately a 1.5 hour drive). The area is also within close proximity to the major metropolitan and regional centres of Canberra and Wollongong.

Approximately 38% of the LGA is either national park or nature reserve. The Shire is bound by the Morton National Park in the south, the rugged Eucalypt bushland of Nattai National Park in the north, the heavily forested areas of the metropolitan catchment areas surrounding Lake Nepean, Avon and Cataract to the north east; and Belanglo State Forest to the west.

The landform and topography is gently undulating in the central region with few major ridges. Surrounding mountains and a series of hills form major topographic landmarks visible from much of Wingecarribee. The Wingecarribee River bisects the LGA, running from west of Berrima south-east into the Wingecarribee reservoir.

The LGA is rural in character consisting of a number of small towns and villages separated by agricultural land. This study focuses on Wingecarribee's major towns which include Mittagong, Bowral, Moss Vale, and Bundanoon.



02 Local Character

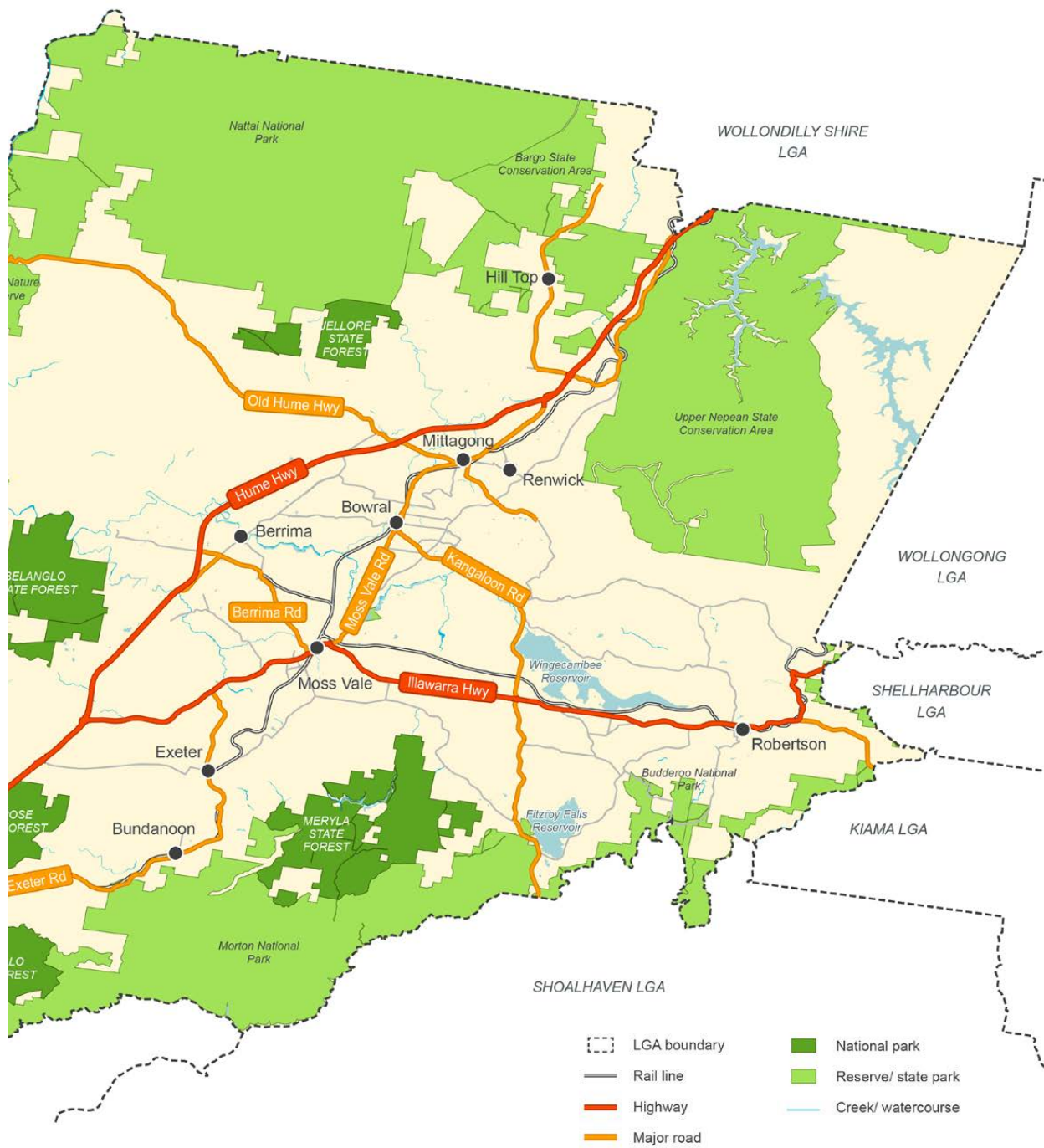


Figure 2 Wingecarribee Regional Context Map





Chapter 2  
**Local Character**

- 2-1 Defining Local Character
- 2-2 Mittagong
- 2-3 Bowral
- 2-4 Moss Vale
- 2-5 Bundanoon

## 02 Local Character

### 2-1 Defining Local Character

#### The Contributing Elements

In order to understand and define neighbourhood or local character, it is necessary to understand that character is influenced by more than just built form. Character is comprised of a number of different elements which can be grouped into three domains:

- The underlying land form
- The urban structure
- The buildings

#### 1. The underlying land form

The character of any place starts with the underlying quality of the land. The geology defines what can be built, the character of the vegetation and the maximum height of any trees. The topography determines the areas of steep and flat land, where the water flows along natural drainage lines and where it collects, the views from the high points and up to local features. The location of the land influences the climate of the area, the natural ecology and what will grow where.

#### 2. The urban structure

The next layer is the urban structure of streets, blocks and lots that is overlaid over the land. The streets can be laid in a gridded and regular pattern - or organic and curving, often following the topography. Streets can be narrow or wide, generally equal in size or hierarchical with wide main roads and narrower minor roads and lanes. The blocks of land created by the pattern of streets can be square, rectangular or highly irregular. Lots within the blocks can be wide and shallow or deep and narrow or a variable combination of sizes.



#### 3. The buildings

The buildings form the final element. The type of building use (i.e. residential, commercial), the type of dwelling (detached, attached, villa, townhouse or apartment) and the style and age of the building all play a role in defining the character of a place. The height of a building, the roof form and the materials all play their part.

Where the building is located on the site, the front, rear and side setbacks and the quality and character of public private interfaces (materials, style, fence, height) also contribute. In suburban areas that rely on private cars, the location of car parking and its arrangement are also critical.

“Neighbourhood character is essentially the combination of the public and private realms. Every property, public place or piece of infrastructure makes a contribution, whether great or small. It is the cumulative impact of all these contributions that establishes neighbourhood character.”

Understanding Neighbourhood Character. Planning Practice Note 43 (Vic)

02 Local Character

2-2 Mittagong

The Land Form

Topography and views

- Area north of the railway line sits on low-lying land and is subject to flooding risks.
- Area south of the railway gently slopes up towards Mount Gibraltar located south-west of the study area.
- Local views up streets and towards the mountains to the south.

Open space

- Limited areas of open space are found within the study area.
- Reserves and parks such as Ironmines Oval and Lake Alexandra Reserve can be found on the edges of the town.
- The area is also surrounded by hills such as Mount Gibraltar and Mount Alexandra, where open space has a bushland character.

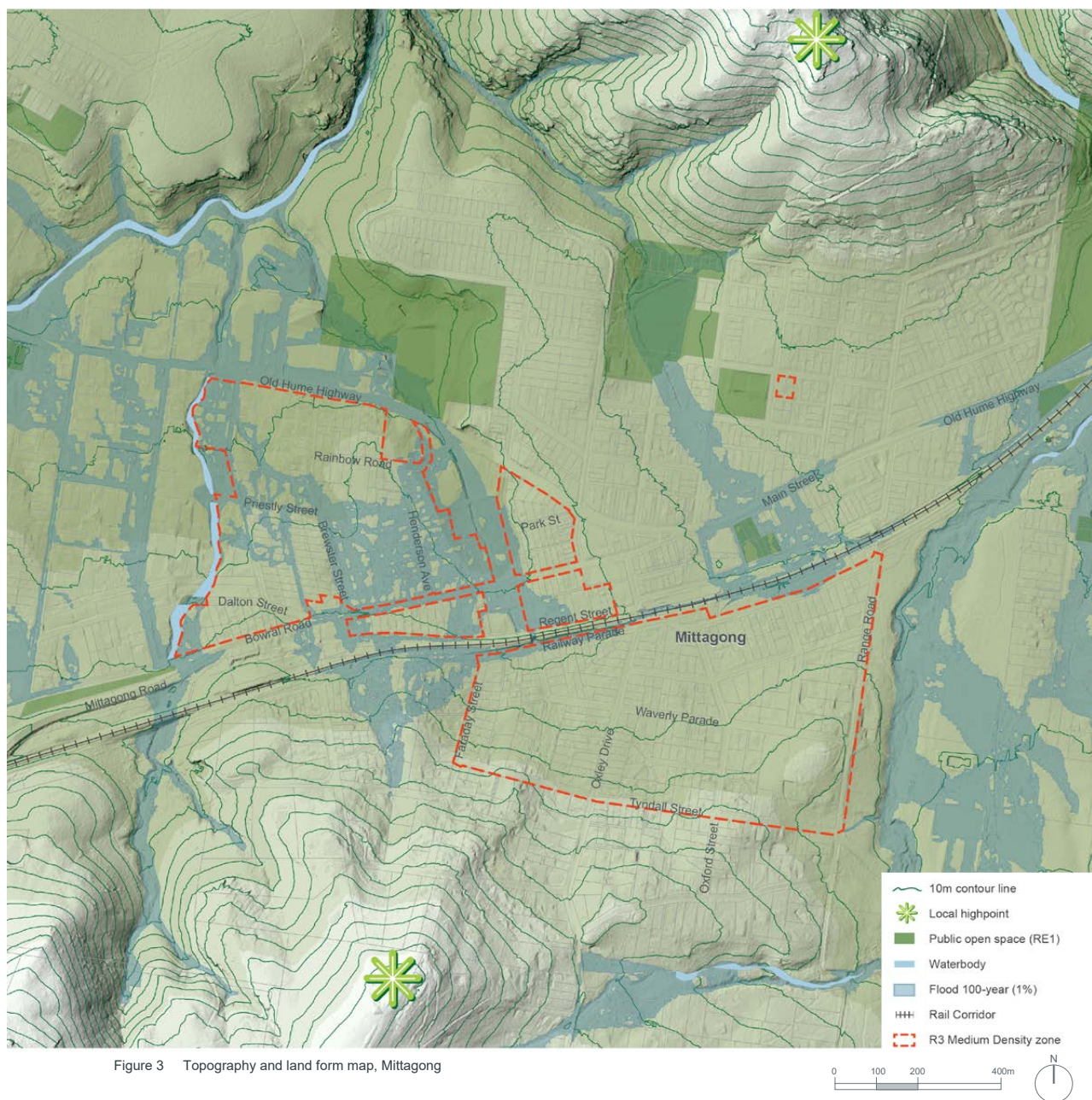
Garden style

- Windbreak planting of pine or cypress is common along the boundaries.
- Most houses have traditional established front gardens.





02 Local Character



## 02 Local Character



Figure 4 Mittagong urban structure

### 2-2 Mittagong

#### The Urban Form

##### Street pattern

- Irregular connected grid street structure with limited cul-de-sacs.

##### Block pattern

- Orientation of blocks generally responsive to slope of land
- Irregular size and shape of blocks with mid-range intersection density (i.e. large blocks).

##### Street character

- Street widths are typically 20m across the road reserve with some street reserves only 15m wide.
- Width of street verge and carriageways vary along different streets. Dedicated parking lanes only found on some streets.
- Most streets have wide grassed verges some with street trees including deciduous trees.
- Footpaths are absent on most streets.
- Heritage buildings with large setbacks on a number of corner sites. Few terminating views (i.e. a gridded street structure).

##### Street hierarchy

- Two arterial roads running through the area, Bowral Road and Old Hume Highway, with a network of streets, lanes and multiple optional routes.

##### Lot pattern

- Wide range in shape and size of lots. In general, lots are narrow and deep.
- A high number of narrow E/W lots which can create overshadowing issues with taller development.
- A few lots north of the railway line are at an angle to the street, where the dwellings form a triangular setback fronting the street.

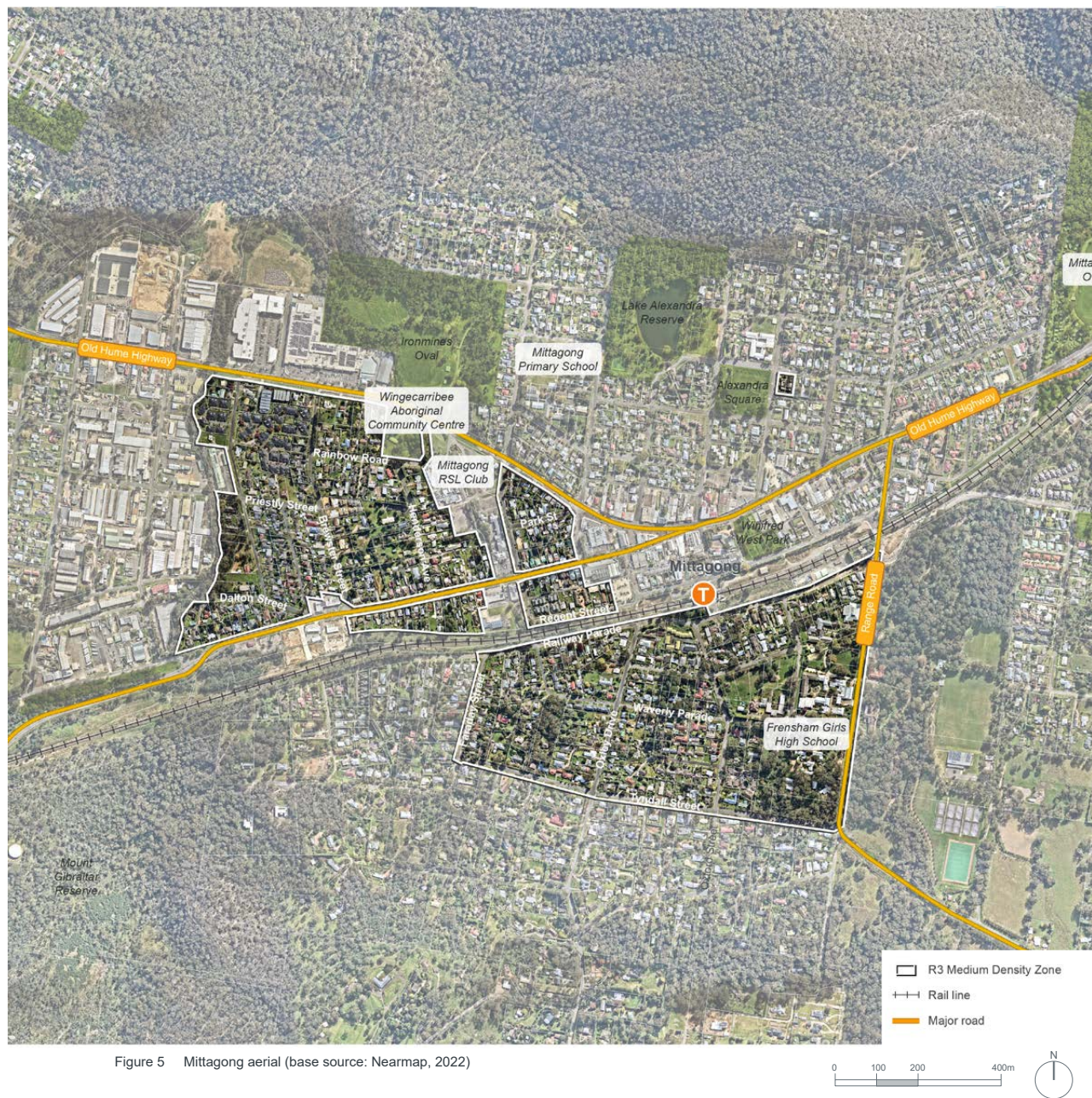
##### Community facilities

- Community and civic facilities within the study area include a large school and a church.





02 Local Character





## 02 Local Character

### 2-2 Mittagong



#### The Built Form

##### Dwelling type

- Predominantly, detached dwelling (traditional) with increasing numbers of villa developments.

##### Materials

- Predominant materials in older buildings are brick, weatherboard and timber.
- Recent development is typically brick veneer or weatherboard.

##### Roof

- Most dwellings have simple roof forms with a roof pitch of between 20-30 degrees.
- Traditional roofing materials include flat metal sheet (not Colorbond), galvanised ripple iron, flat or low profile tile materials or timber shingles.

##### Height

- Predominant building height is 1 to 2 storeys.

##### Setbacks

- Front setbacks are generally large with well landscaped front lawns.
- Narrow side setback often wider on one side.

##### Front fencing

- Range of fencing types found throughout the area.

##### Car Parking

- Along fence lines there are often hedgerows, particularly where they are abutting the public roads.
- Majority of parking is on grade along the sides of properties.
- Wide concrete driveways along the sides or through the centre are commonly found in recent medium density housing developments.

##### Heritage

- Heritage Conservation Area located around Park Street
- Frensham School on Range Road is heritage listed



02 Local Character



## 02 Local Character

### 2-2 Mittagong

#### Opportunities and Constraints Analysis

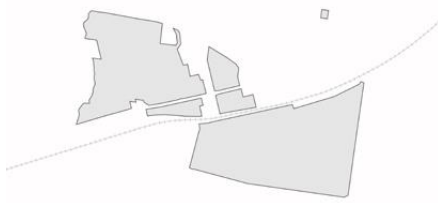


Figure 7 Sites zoned R3 in Mittagong



Figure 8 R3 sites with a frontage under 25m

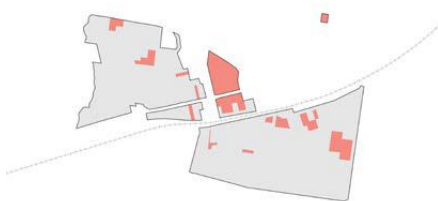


Figure 9 Heritage and strata sites in R3 zone

The spatial map (Figure 10) represents the theoretical potential for medium density housing within the existing unconstrained R3 Medium Density Zoned land in Mittagong with consideration of lot width, heritage, strata, flooding and slope.

Under the Wingecarribee DCP controls for medium density housing, medium density sites need to have a minimum lot frontage of 25m. Further, given the limited potential of sites identified as heritage, located within a heritage conservation area, or those which have already developed as strata-titled sites, these sites have been filtered out to identify the remaining unconstrained sites. These sites have been overlayed with flooding and topography constraints (showing areas where slope is greater than 18°) to illustrate potential challenges to the construction of medium density housing.

Given the identified constraints, approximately 76% of current R3 zoned lots are not unconstrained. A percentage of suitably sized lots are potentially impacted by flooding.

Further, some of the large sites in the adjacent diagram contain large recent development and schools.



02 Local Character

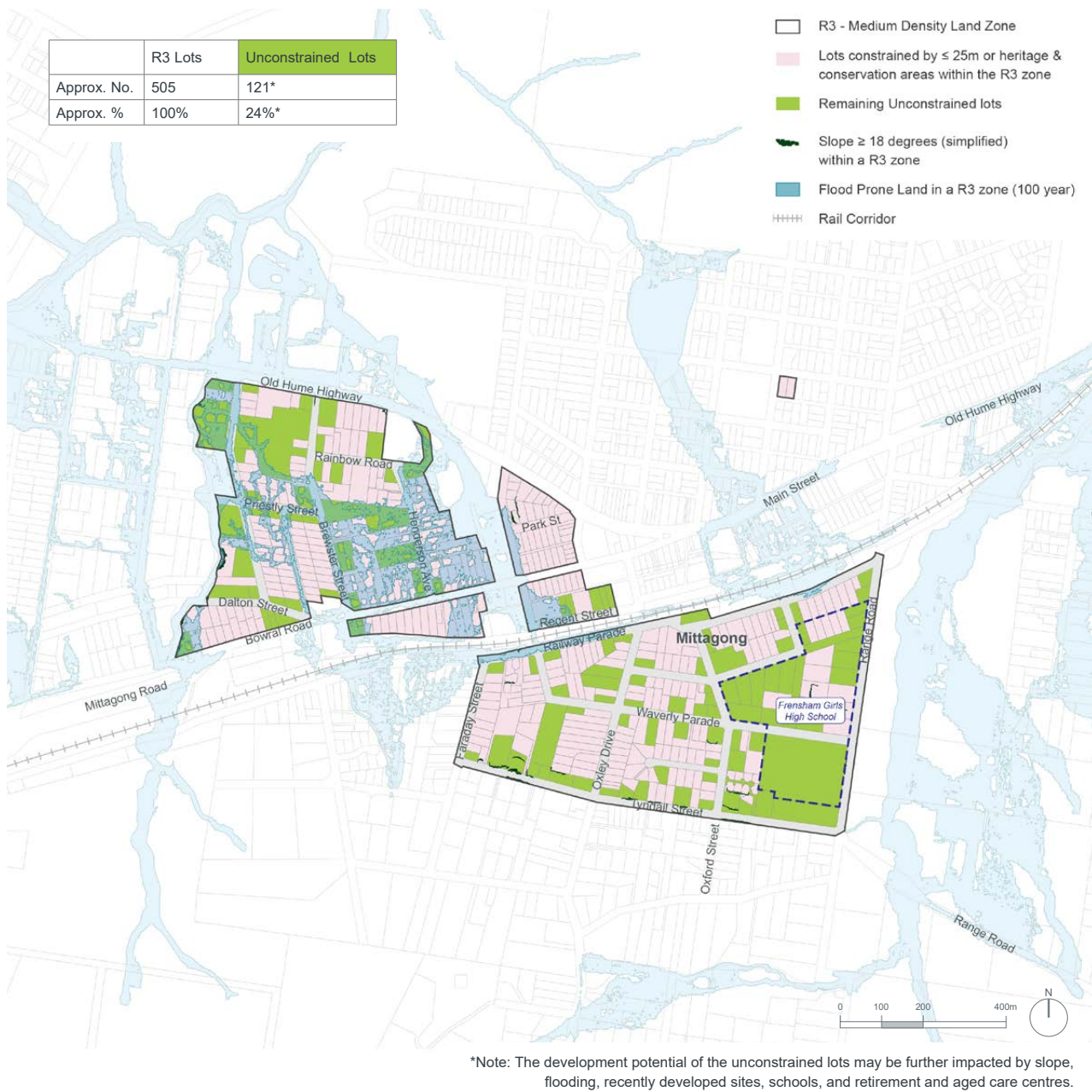


Figure 10 Potential medium density opportunity sites in Mittagong



02 Local Character



2-3 Bowral

The Land Form

Topography and views

- Area is moderately steep towards the north (where Mount Gibraltar is located) and west.
- Part of the study area is situated along the floodplain of Mittagong Creek and is subject to flood risks.
- A local highpoint is located very close to part of the study area towards the north.

Open space

- Large expanses of open spaces are found immediately adjacent to the study areas. These include many parks along the creek, sports grounds such as Bradman Oval, and golf courses such as Bowral Golf Club.
- The area is also surrounded by hills such as Mount Gibraltar, where open space has a bushland character.

Garden style

- Most houses have traditional established front gardens, with larger mature conifers and broadleaf trees.
- Windbreak planting of pine or cypress is common along the boundaries.





02 Local Character

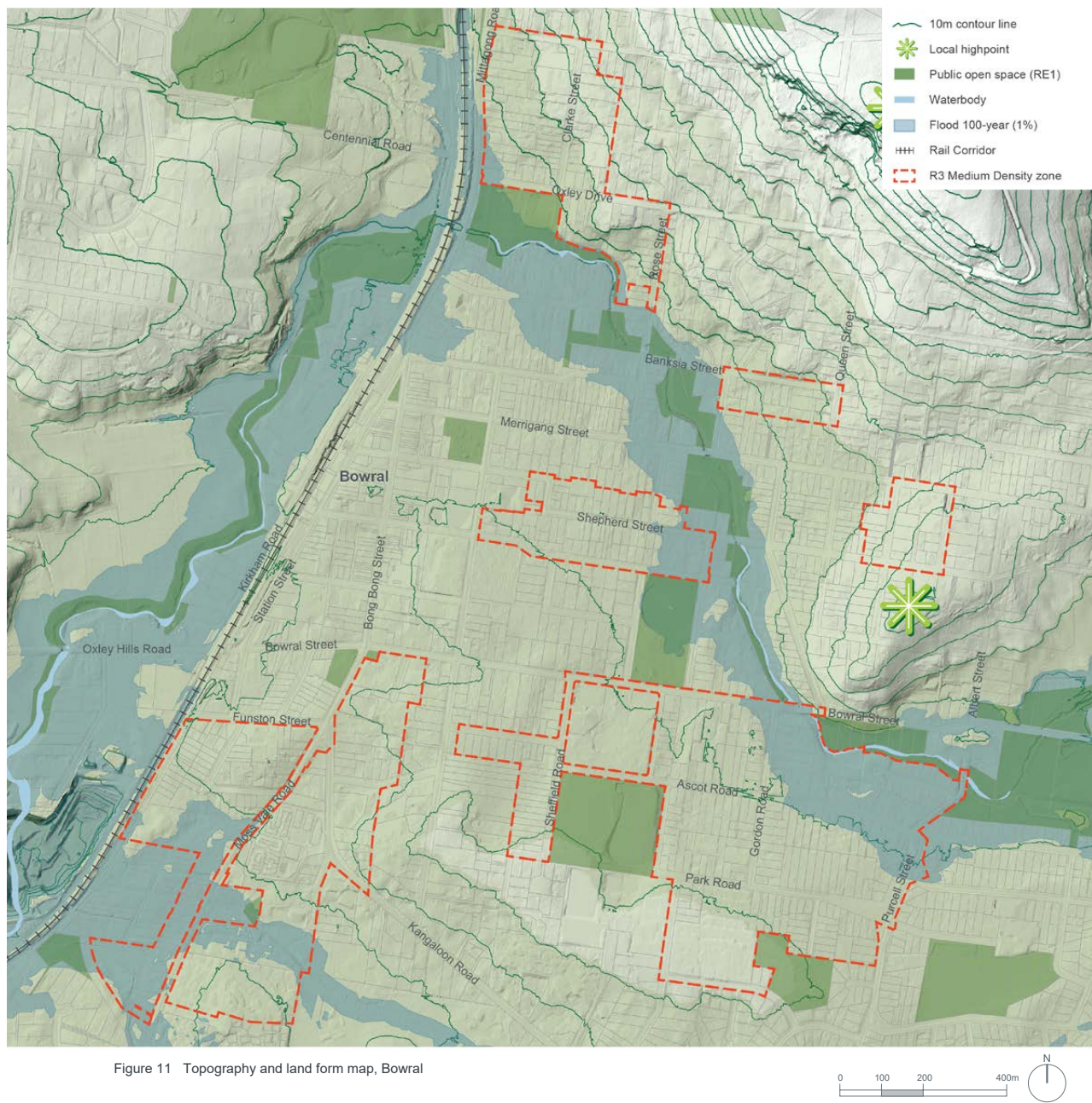


Figure 11 Topography and land form map, Bowral

## 02 Local Character

### 2-3 Bowral



Figure 12 Bowral urban structure



#### The Urban Form

##### Street pattern

- Older subdivision layout was based on Darling's Grid of 300 x 66 ft (100x 20m) blocks.
- Further town expansion resulted in an irregular connected grid street structure with a few cul-de-sacs.

##### Block pattern

- Orientation of blocks generally responsive to slope of land. The creek forms the boundary of many blocks within the study area.
- Irregular size of blocks with mid-range intersection density (i.e. large blocks). Typically blocks closer to the railway station are smaller.

##### Street character

- Street widths are typically 20m across the road reserve.
- Width of street verge and carriageways vary along different streets. Dedicated parking lanes only found on most local streets.
- Footpaths are absent on some streets within the study area.
- Streetscapes have significant planted avenues, with strong plantings of flowering trees and shrubs, high walls, hedges and long driveways.

##### Street hierarchy

- Arterial roads running through the area include Moss Vale Road, Kangaloon Road and Centennial Road. A network of streets, two lanes and multiple optional routes can also be found.

##### Lot pattern

- Wide range in shape and size of lots. In general, lots are narrow and deep.
- A high number of narrow E/W lots which can create overshadowing issues with taller development.

##### Community facilities

- While there are no community/ civic facilities within the study area, many exist in the vicinity including Bowral and District Hospital, Bowral Swimming Centre, Bradman Museum, and Bowral High School. The study area also includes a number of retirement villages.



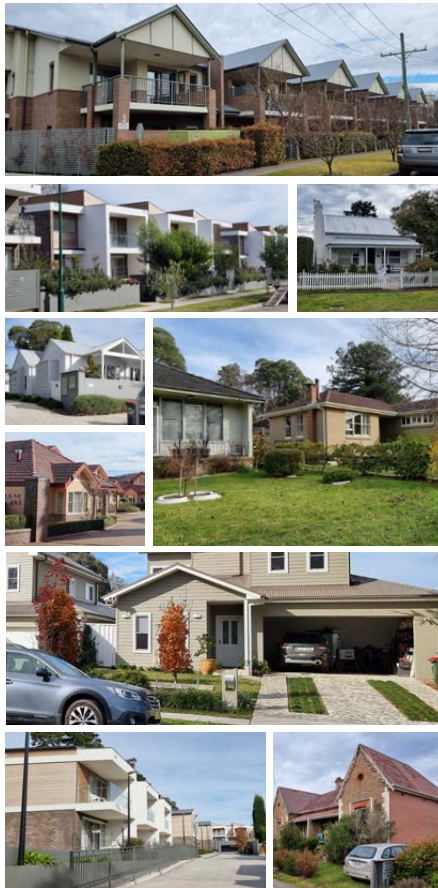


02 Local Character





## 02 Local Character



### 2-3 Bowral

#### The Built Form

##### Dwelling type

- Predominantly, older cottages and detached dwellings (traditional) with increasing numbers of medium density development.
- Wide range of ages and architectural styles (Victorian, Colonial and Federation).

##### Materials

- Predominant materials in older buildings are brick and timber.
- Recent development is typically brick veneer, weatherboard or rendered masonry.

##### Roof

- Most dwellings have simple roof forms with a roof pitch of between 20-30 degrees.
- Traditional roofing material include flat metal sheet (not Colorbond), galvanised ripple iron, flat or low profile tile materials or timber shingles.

##### Height

- Predominant building height is 1 to 2 storeys.

##### Setbacks

- Front setbacks are generally large with well landscaped front lawns.
- Narrow side setback often wider on one side.

##### Front fencing

- Range of fencing types found throughout the area. Older areas tend to have low front fences (timber picket, low brick walls).
- Along fence lines there are often hedgerows, particularly where they are abutting the public roads.

##### Car Parking

- Majority of parking is on grade along the sides of properties. Basement parking is uncommon.
- Wide concrete driveways along the sides or through the centre are commonly found in recent medium density housing developments.

##### Heritage

- Heritage Conservation Area along Shepherd Street



02 Local Character



## 02 Local Character

### 2-3 Bowral

#### Opportunities and Constraints Analysis

The spatial map (Figure 18) represents the theoretical potential for medium density housing within the existing unconstrained R3 Medium Density Zoned land in Bowral with consideration of lot width, heritage, strata, flooding and slope.

Under the Wingecarribee DCP controls for medium density housing, medium density sites need to have a minimum lot frontage of 25m. Further, given the limited potential of sites identified as heritage, located within a heritage conservation area, or those which have already developed as strata-titled sites, these sites have been filtered out to identify the remaining unconstrained sites. These sites have been overlayed with flooding and topography constraints (showing areas where slope is greater than 18°) to illustrate potential challenges to the construction of medium density housing.

Given these constraints, approximately 83% of current R3 zoned lots are not unconstrained. A percentage of suitably sized lots are potentially impacted by flooding.

Further, some of the large sites in the adjacent diagram contain large recent development and retirement and aged care centres.

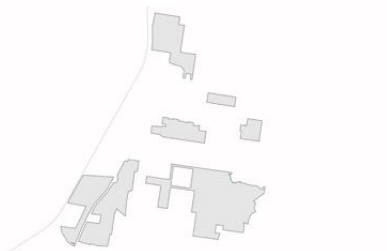


Figure 15 Sites zoned R3 in Bowral

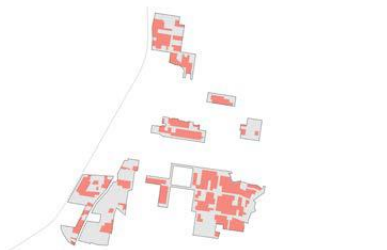


Figure 16 R3 sites with a frontage under 25m

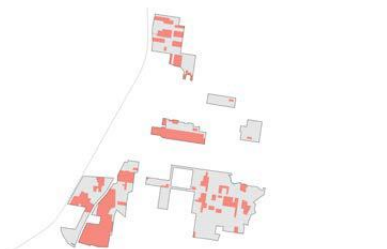


Figure 17 Heritage and strata sites in R3 zone



02 Local Character



\*Note: The development potential of the unconstrained lots may be further impacted by slope, flooding, recently developed sites, schools, and retirement and aged care centres.

Figure 18 Potential medium density opportunity sites in Bowral



02 Local Character



2-4 Moss Vale

The Land Form

Topography and views

- Area is moderately steep towards the south-east.
- The Whites Creek catchment passes through the Moss Vale urban area and is subject to flood risks.
- Local views down streets towards the hills located west of the area.

Open space

- Large expanses of open spaces are found immediately adjacent to the study areas. These include parks such as Broulee Park, Henderson park; playgrounds such as Moss Vale Community Field; and a golf course called Moss Vale Golf Club.

Garden style

- Most houses have traditional established front gardens, with larger mature conifers and broadleaf trees.
- Windbreak planting of pine or cypress is common along the boundaries.



02 Local Character

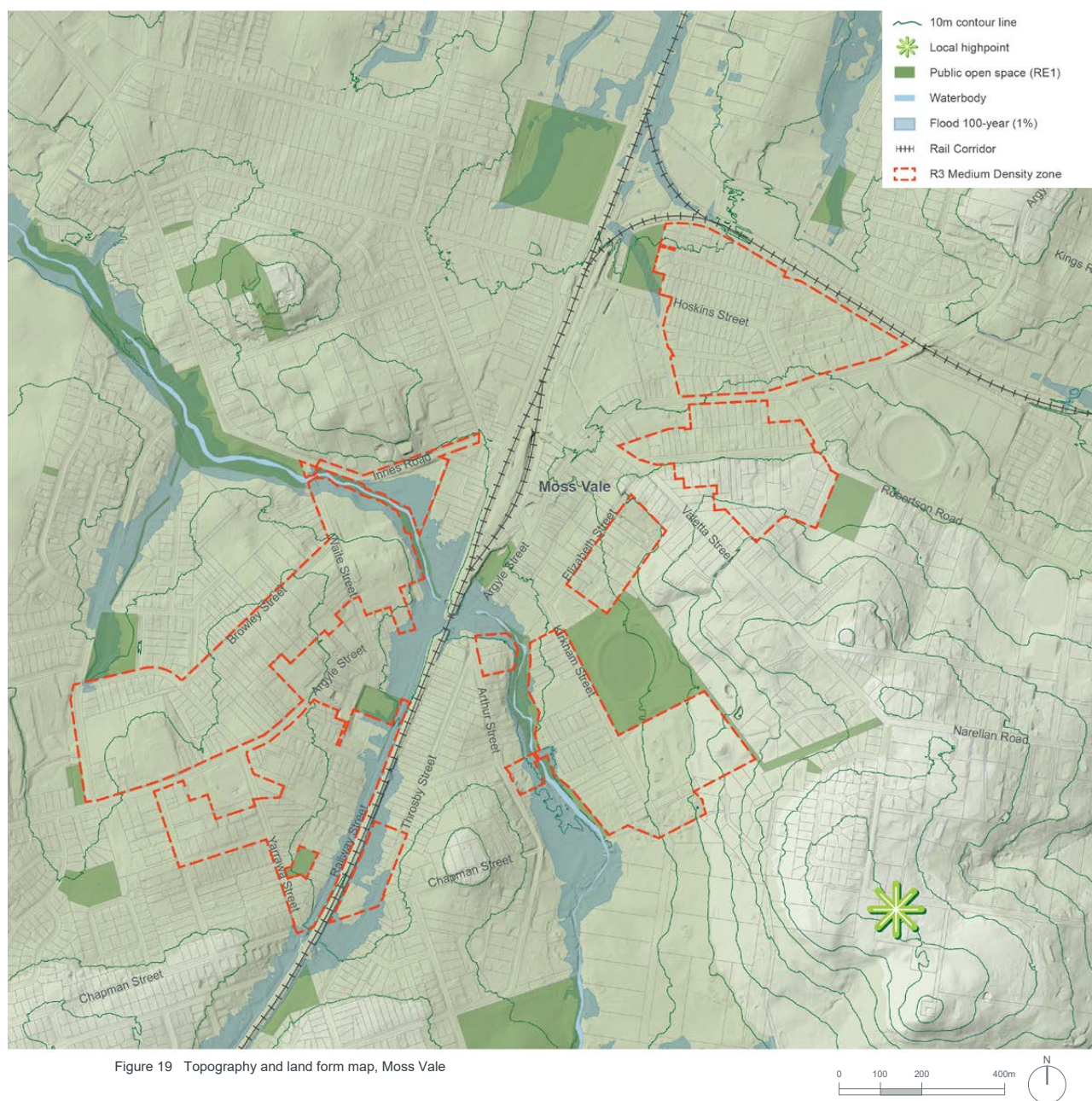


Figure 19 Topography and land form map, Moss Vale



## 02 Local Character

### 2-4 Moss Vale



Figure 20 Moss Vale urban structure



#### The Urban Form

##### Street pattern

- Older subdivision layout was based on a standard block size of 300 x 66 ft (100x 20m), however the layout was not confined to the Darling Grid Plan.
- The road layout is largely the result of development along the railway and major road corridors.
- The urban form responds to the constraints of transport routes and topography, resulting in a sporadic pattern of growth and development.

##### Block pattern

- Irregular size and shape of blocks with mid-range intersection density (i.e. large blocks).
- Orientation of blocks generally responsive to slope of land. Whites Creek forms the boundary of a few blocks within the study area.

##### Street character

- Street widths are typically 20m across the road reserve, with some street reserves only 17m wide.
- Most streets have wide grassed verges some with street trees including deciduous trees.
- Footpaths are absent on some streets within the study area.

##### Street hierarchy

- Illawarra Highway and Argyle Street form the major highways crossing through the town. Waife Street is an arterial road running through the area.

##### Lot pattern

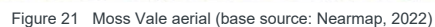
- Wide range in shape and size of lots. In general, lots are narrow and deep.

##### Community facilities

- Community/ civic facilities within the study area include Moss Vale Public School, St. Paul's International College, Wingecarribee Shire Council, TAFE NSW Moss Vale and University of Wollongong- Southern Highlands Campus.









## 02 Local Character

### 2-4 Moss Vale



#### The Built Form

##### Dwelling type

- Predominantly older, large, town and country houses, and detached dwellings (traditional) with a few medium density development scattered throughout the study area.
- Wide range of ages and architectural styles (Victorian, Inter-war and Federation).

##### Materials

- Predominant materials in older buildings are brick and timber.
- Recent development is typically brick veneer, weatherboard or rendered masonry.

##### Roof

- Most dwellings have simple roof forms with a roof pitch of between 20-30 degrees.
- Traditional roofing material include flat metal sheet (not Colorbond), galvanised ripple iron, flat or low profile tile materials or timber shingles.

##### Height

- Predominant building height is 1 to 2 storeys.

##### Setbacks

- Front setbacks are generally large with well landscaped front lawns.
- Narrow side setback often wider on one side.

##### Front fencing

- Range of fencing types found throughout the area. Older areas tend to have low front fences (timber picket, low brick walls).
- Along fence lines there are often hedgerows, particularly those that are abutting the public roads.

##### Car Parking

- Majority of parking is on grade along the sides of properties. Basement parking is uncommon.
- Wide concrete driveways along the sides or through the centre are commonly found in recent medium density housing developments.

##### Heritage

- Large amounts of Heritage Conservation Area to the west of train line including St Paul's International College



02 Local Character



## 02 Local Character

### 2-4 Moss Vale

#### Opportunities and Constraints Analysis

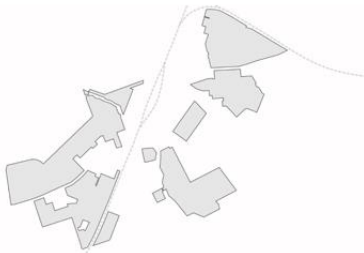


Figure 23 Sites zoned R3 in Moss Vale



Figure 24 R3 sites with a frontage under 25m



Figure 25 Heritage and strata sites in R3 zone

The spatial map (Figure 26) represents the theoretical potential for medium density housing within the existing unconstrained R3 Medium Density Zoned land in Moss Vale with consideration of lot width, heritage, strata, flooding and slope.

Under the Wingecarribee DCP controls for medium density housing, medium density sites need to have a minimum lot frontage of 25m. Further, given the limited potential of sites identified as heritage, located within a heritage conservation area, or those which have already developed as strata-titled sites, these sites have been filtered out to identify the remaining unconstrained sites. These sites have been overlayed with flooding and topography constraints (showing area where slope is greater than 18°) to illustrate potential challenges to the construction of medium density housing.

Given these constraints, approximately 86% of current R3 zoned lots are not unconstrained. A percentage of suitably sized lots are potentially impacted by flooding.

Further, some of the large sites in the adjacent diagram contain large recent development, schools/ universities and retirement and aged care centres.





02 Local Character



\*Note: The development potential of the unconstrained lots may be further impacted by slope, flooding, recently developed sites, schools, and retirement and aged care centres.

Figure 26 Potential medium density opportunity sites in Moss Vale

02 Local Character



2-5 Bundanoon

The Land Form

Topography and views

- Gently sloping land towards south-east.
- Deep gullies located south of the study area also from a characteristic feature of the area.

Open space

- Areas of open space that are found in the immediate vicinity of the study area include Bundanoon Oval and the Nancy Kingsbury Memorial Park.
- To the south of the area lies the Morton National Park, which includes many walking tracks and lookouts, located approximately a 5-minute drive away from Bundanoon village centre.

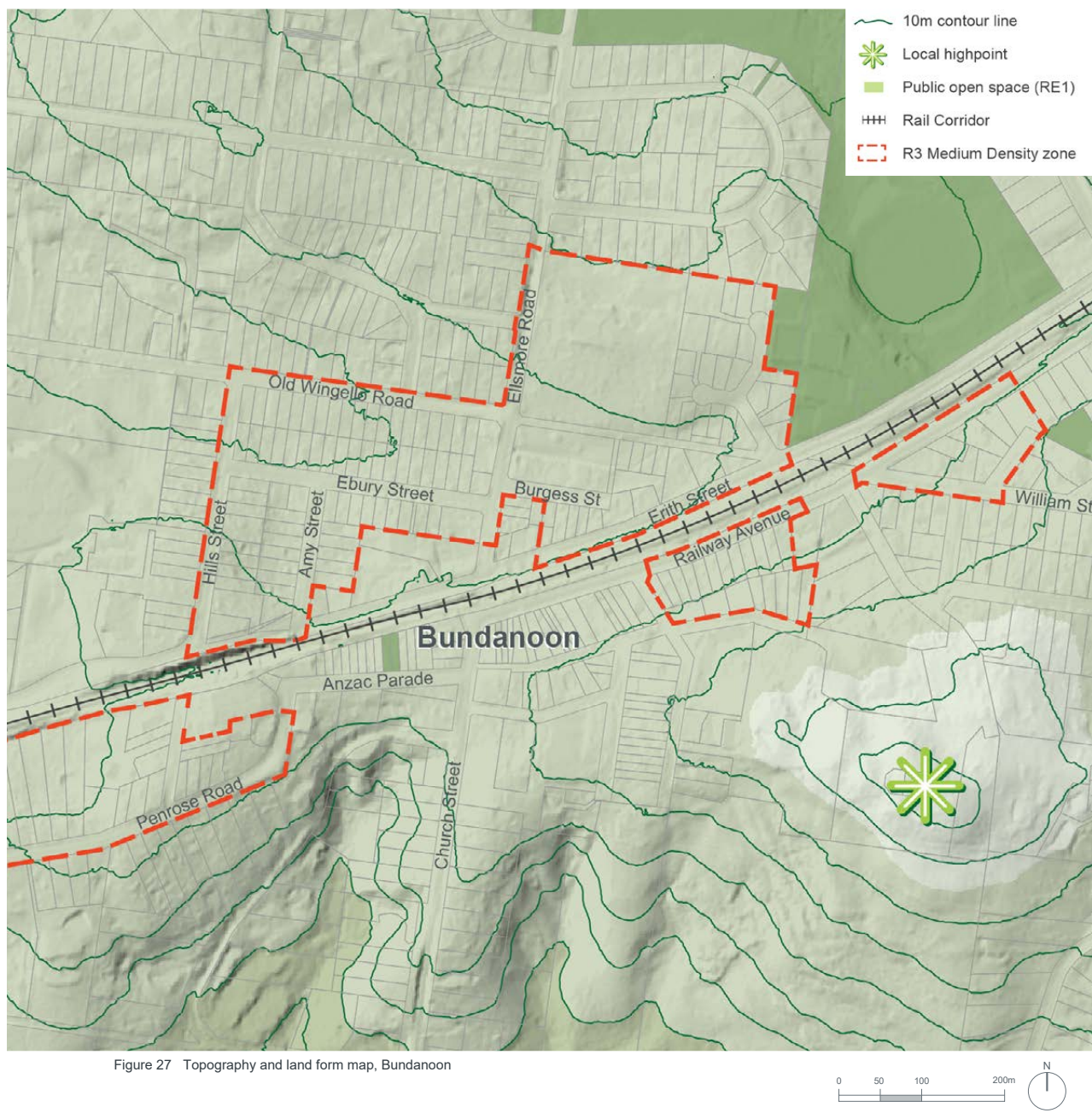
Garden style

- Windbreak planting of pine or cypress is common along the boundaries.
- Most houses have traditional established front gardens.





02 Local Character



## 02 Local Character



Figure 28 Bundanoon urban structure



### 2-5 Bundanoon

#### The Urban Form

##### Street pattern

- Bundanoon is a linear village developed along the railway line, with modern grid subdivision to the south west and east around the railway station. A number of cul-de-sacs can be found throughout the study area.

##### Block pattern

- In general, regular size and shape of blocks with smaller blocks around the station.

##### Street character

- Street widths are typically 20m across the road reserve, with some street reserves only 15m wide.
- Most streets have wide grassed verges some with street trees, including native and exotic deciduous trees.
- Footpaths are absent on most streets.

##### Street hierarchy

- Railway Avenue forms the only arterial road running through the area.

##### Lot pattern

- Lots within the study area are generally rectangular in shape, with the exception of corner lots which have irregular shapes.
- In general, lots are narrow and deep.

##### Community facilities

- Community facilities surrounding the study area include schools as well as sports and recreational facilities such as Bundanoon Skate Park, Men's Shed, Tennis Club and Swimming Centre. A large site located within the study area, north of the railway line, belongs to a non-profit organization.





02 Local Character





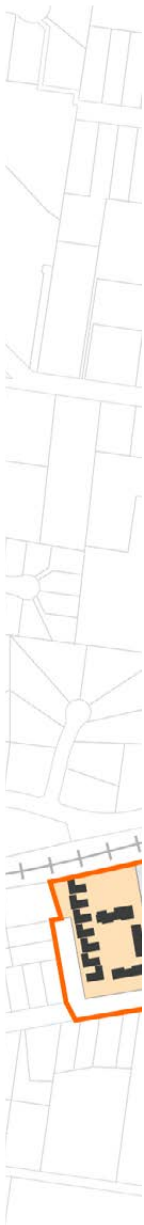
02 Local Character



2-5 Bundanoon

The Built Form

- Dwelling type**
- Predominantly, small cottages and detached dwelling houses (traditional).
- Materials**
- Housing consists of brick modern houses with the older buildings of white and cream timber and some stone.
  - Recent development is typically brick veneer, and rendered masonry.
- Roof**
- Most dwellings have a roof pitch of between 20-30 degrees.
  - Light coloured metal roofs are popular with a few tiled roofs.
- Height**
- Predominant building height is 1 storey.
- Setbacks**
- Front setbacks are generally large with well landscaped front lawns.
  - Narrow side setback often wider on one side.
- Front fencing**
- Range of fencing types found throughout the area.
  - Along fence lines there are often hedgerows of varying heights, particularly those that are abutting the public roads.
- Car Parking**
- Majority of parking is on grade along the sides of properties.



02 Local Character





## 02 Local Character

### 2-5 Bundanoon

#### Opportunities and Constraints Analysis

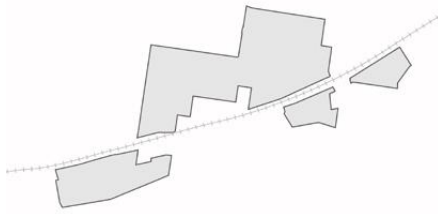


Figure 31 Sites zoned R3 in Bundanoon

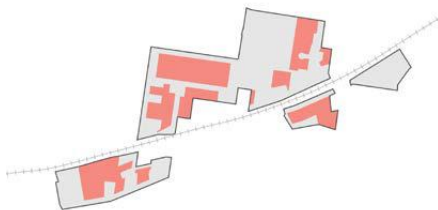


Figure 32 R3 sites with a frontage under 25m

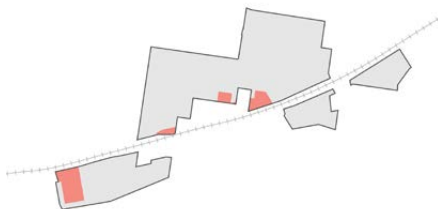


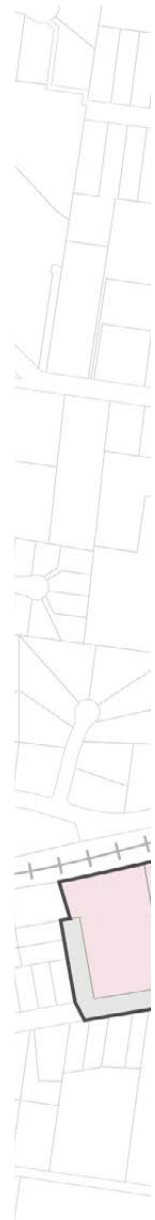
Figure 33 Heritage and strata sites in R3 zone

The spatial map (Figure 34) represents the theoretical potential for medium density housing within the existing unconstrained R3 Medium Density Zoned land in Bowral with consideration of lot width, heritage, strata, flooding and slope.

Under the Wingecarribee DCP controls for medium density housing, medium density sites need to have a minimum lot frontage of 25m. Further, given the limited potential of sites identified as heritage, located within a heritage conservation area, or those which have already developed as strata-titled sites, these sites have been filtered out to identify the remaining unconstrained sites. These sites have been overlayed with flooding and topography constraints (showing area where slope is greater than 18°) to illustrate potential challenges to the construction of medium density housing.

Given these constraints, approximately 72% of current R3 zoned lots are not unconstrained.

Further, some of the large sites in the adjacent diagram may contain large recent development.



02 Local Character



Figure 34 Potential medium density opportunity sites in Bundanoon



## Chapter 3 General Recommendations

- 3-1 General Observations
- 3-2 Overview of the Planning Controls
- 3-3 LEP Recommendations

## 03 General Recommendations

### 3-1 General Observations

#### Community Understanding

It is recommended that the need and purpose for medium density housing in Wingecarribee is clearly communicated to the community to improve the understanding of the current context and any potential future changes. There is also value in informing the community of existing medium density zoned land, the underlying reason for the zoning and its potential impacts.

The population forecasts for the Wingecarribee Shire predict a growth of approximately 12,500 residents in Wingecarribee by 2041 (Forecast ID), 61% of which are anticipated to live in households that are made up of 2 persons or less (as shown in Figure 35). The decreasing household sizes emphasise a need for smaller dwelling sizes.

Census 2021 identified 90.4% of the existing houses to be a dwelling house, with the majority of houses consisting of 3+ bedrooms (83% of total dwellings), and only 8.7% being medium density (semi-detached, row or terrace house, townhouse etc.). An increase in the diversity of housing supply is thus needed to accommodate the future population in Wingecarribee, which could be supplied by medium density housing.

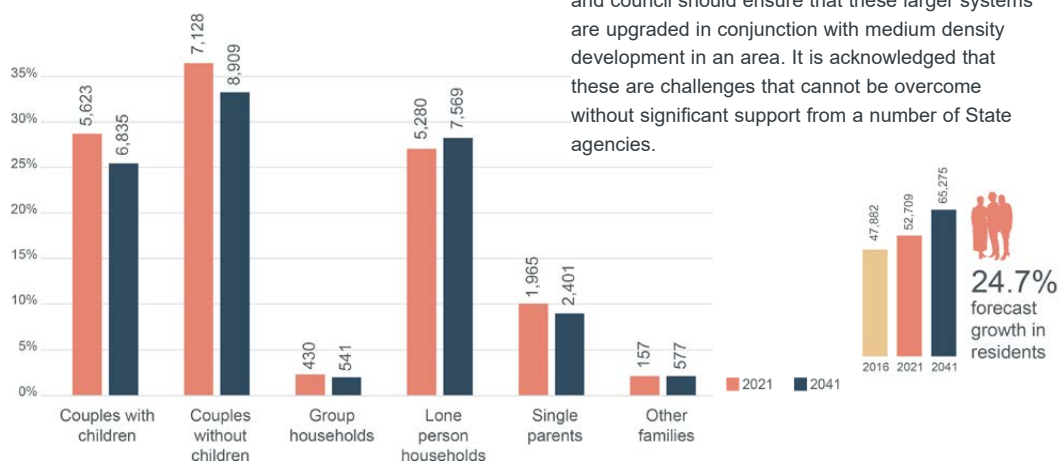


Figure 35 Wingecarribee demographic change. Source: Census 2021, Profile ID and Forecast ID.

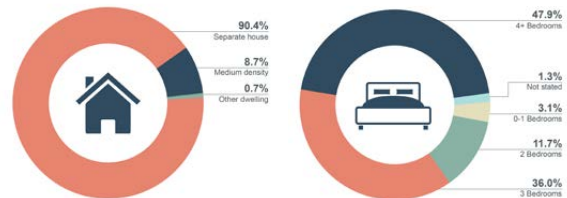


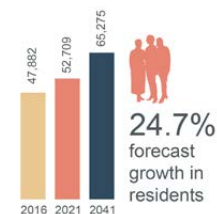
Figure 36 Wingecarribee dwelling types and number of bedrooms  
Source: Census 2021, Profile ID and Forecast ID.

#### Upgrading Current Infrastructure

Some of the significant challenges identified by the community and industry to the intensification of housing density relates to the current inadequacy of existing infrastructure; such as sewer and storm water drainage, roads and social infrastructure, to support additional population growth. For example, a need for improvements in public transport services throughout the LGA has been identified.

In addition, a number of streets within the medium density zones are considered to be too narrow and therefore unable to accommodate an increase in traffic generated by additional housing. Initiatives such as road widening programs or other means to divert traffic will need to be considered.

It is recommended that any increase in density should be supported by appropriate infrastructure and council should ensure that these larger systems are upgraded in conjunction with medium density development in an area. It is acknowledged that these are challenges that cannot be overcome without significant support from a number of State agencies.



## 03 General Recommendations

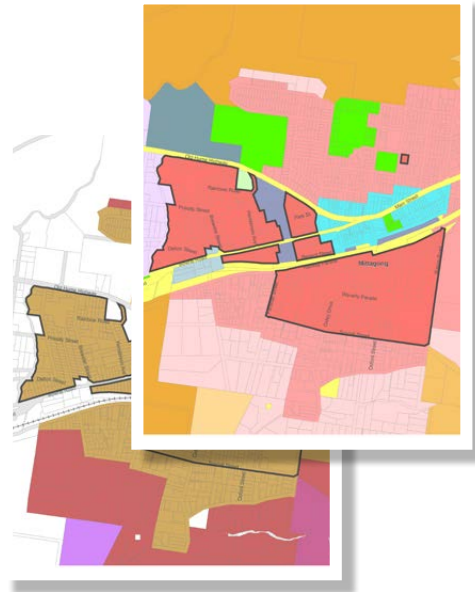
### 3-2 Overview of the Planning Controls

Planning controls establish the scale, intensity and use of future buildings, and outline where a particular type of development is encouraged and seen as desirable, for example by defining land use zones and maximum building heights. In NSW each LGA has a Local Environmental Plan (LEP) that guides development. LEPs are prepared by local Councils and the current Wingecarribee LEP commenced in 2010.

The Development Control Plan (DCP) supports the LEP and identifies additional development controls and standards for addressing development issues at a more detailed level. Development controls build on the overarching LEP planning controls and go into more detail, aiming to ensure that buildings are designed in such a way that their location, size and appearance all help to improve the character of a street or entire area. For example, they may identify minimum setbacks, upper level setbacks, the location of car parking or the minimum landscaped area of a site.

The current Wingecarribee LEP 2010 makes provisions for Land use zoning, Heritage and Conservation areas and Lot sizes within the LGA. Typically, the Floor Space Ratio (FSR) and Building Height controls in the majority of areas are regulated by an LEP. However, the FSR and building heights for residential development in Wingecarribee are set out within the DCP, which have less weight and significance than the environmental planning instruments.

It is important that a consistent approach to the identification and application of height and FSR controls is utilised so that these controls are clearly understood by development and community interests alike. In order to do so, it is recommended that the FSR and building height controls for residential development is set out within the LEP rather than the DCP. This would also provide certainty with respect to these key development standards and to ensure that any variations comply with the provisions of clause 4.5– Variation to development standards.



In order to define the future development controls for the study area, the following planning controls have been reviewed as part of this study:

- Land use zoning
- FSR
- Building heights
- Lot size

Outcomes of the review of selected controls are summarised on the following pages. Recommended changes to LEP controls for Mittagong, Bowral and Moss Vale have been provided. It is suggested that recommendations be integrated into the LEP.

No changes to the LEP have been recommended for Bundanoon as the centre has medium density sites which currently have an FSR of 0.5:1. Given the context, size and available amenities of the centre, the existing FSR controls are considered appropriate.



03 General Recommendations

3-3 LEP Recommendations

Land use zones

The table below outlines the permitted residential building types under the Wingecarribee LEP 2010:

Relevant Uses - permitted with consent	Land Use Zones	
	R2	R3
Dwelling Houses	X	X*
Dual occupancies	X	X*
Attached Dwellings		X
Semi-Detached Dwelling		X*
Multi Dwelling Housing		X
Residential Flat Buildings		X*
Shop-top Housing		X*

\* Not explicitly prohibited. Under permitted it says  
'Any other development not specified in item 2 or 4'

From the above table, the following typologies are considered medium density building types and their Standard Instrument definitions are as follows:

- **Attached dwelling** (Torrens titled) means a building containing 3 or more dwellings, where (a) each dwelling is attached to another dwelling by a common wall, and (b) each of the dwellings is on its own lot of land, and (c) none of the dwellings is located above any part of another dwelling
- **Multi dwelling housing** (Strata) means 3 or more dwellings (whether attached or detached) on one lot of land, each with access at ground level, but does not include a residential flat building
- **Residential flat building** means a building containing 3 or more dwellings, but does not include an attached dwelling, co-living housing or multi dwelling housing.

Building heights

Building heights for medium density development within the Wingecarribee LGA are currently set within the DCP and differ as per building typologies:

Applies To:	Requirement (max.)
Residential Flat Buildings	3 storeys or 12m (third floor within roofline)
Other medium density housing	2 storeys or 9m
All medium density housing in HCAs	1 storey or 6m (additional spaces allowed within roof form)

The above heights prescribed by the DCP are considered to be quite high. Residential buildings typically have ceiling heights between 2.4m-2.7m high which creates a floor to floor height of between 2.8-3.1m. A maximum building height of 7.5-8.5m accommodates a two storey building with a pitch roof while a maximum height of 11m can accommodate a 3 storey building, including a three storey apartment building.

It is recommended that the maximum building heights be amended in relation to the FSR as follows:

FSR	Building Height (max.)
0.4	1 storey 6m (additional spaces allowed within roof form)
0.5	2 storeys or 9m (with 3rd storey permissible within the roof)
0.6	3 storeys or 11m

03 General Recommendations

3-3 LEP Recommendations

Mittagong

Identification of new medium density sites

Under the current LEP, medium density typologies are only permissible within the R3 Medium Density zone (R3 zone). As shown in Figure 10, there are approximately 505 lots zoned R3 Medium Density in Mittagong, only 121 of which are unconstrained. Even fewer sites are available when recently developed sites and communities facilities such as schools are eliminated. The limited potential of existing R3 zoned sites that can be developed for medium density, highlights the need for the identification of additional sites for medium density in Mittagong.

FSR/Heights

Under the current DCP, all land zoned R3 Medium Density Residential has been divided into three sub-zones – Zones A, B and C which are linked to density controls. To increase certainty and clarity it is recommended that FSR and Height controls are linked to the sub zones and included in the LEP as follows

Sub-zone	Max. FSR	Max Height
A	0.4:1	6m
B	0.5:1	9m
C	0.6:1	11m

In addition the following recommendations are made to amend the controls for some of the areas in the town to better reflect their existing context.

Recommendation

Depending on the findings of additional feasibility studies it may be advisable to:

Land zoning	
1	Investigate changing the zoning of the block to the east of the study area, along Evans St, Southey St and Oaklands St from R2 Low Density Residential to R3 Medium Density. The area consists of a significant number of medium density developments. Up-zoning the area would have little impact on the existing character of the area, while supporting the need for additional medium density sites.
FSR	
2	Reduce the maximum FSR for the following sites from 0.6:1 to 0.4:1- <ul style="list-style-type: none"><li>Block along Bowral Rd and Park St, south of Old Hume Highway and east of Bessemer St;</li><li>Two lots located at the corner of Alice Street and Alfred Street.</li></ul> These sites are currently located within the Mittagong Conservation Area or have been listed as heritage items, and are unlikely to be developed into medium density with a density of 0.6:1.
3	Consider decreasing the FSR of the sites along Regent Street from 0.6:1 to 0.5:1. These sites are surrounded by the Mittagong Conservation Area. Reducing the density on these sites would enable a sympathetic transition from the HCA to the surrounding higher density residential areas.

03 General Recommendations



Diagram showing impact of FSR recommendations



03 General Recommendations

3-3 LEP Recommendations

Bowral

Identification of new medium density sites

Under the current LEP, medium density typologies are only permissible within the R3 Medium Density zone (R3 zone). As shown in Figure 38, there are approximately 545 lots zoned R3 Medium Density in Moss Vale, only 91 of which are unconstrained. Even fewer sites are available when recently developed sites and existing aged care centres are eliminated. The limited potential of existing R3 zoned sites that can be developed for medium density, highlights the need for the identification of additional sites for medium density in Bowral.

Lot Size

Under the current LEP, all of the medium density sites in Bowral have a minimum subdivision lot size of 700m<sup>2</sup>. This requirement enables landowners to subdivide large lots instead of encouraging the amalgamation of lots for the development of medium density. It is recommended that the minimum subdivision lot size be increased to 1000m<sup>2</sup> to discourage such subdivision.

FSR/Heights

Under the current DCP, all land zoned R3 Medium Density Residential has been divided into three sub-zones – Zones A, B and C which are linked to density controls. To increase certainty and clarity it is recommended that FSR and Height controls are linked to the sub zones and included in the LEP as follows

Sub-zone	Max. FSR	Max Height
A	0.4:1	6m
B	0.5:1	9m
C	0.6:1	11m

In addition the following recommendations are made to amend the controls for some of the areas in the town to better reflect their existing context.

Recommendation

Depending on the findings of additional feasibility studies it may be advisable to:

FSR	
1	Consider decreasing the FSR of the medium density sites along Shepherd Street from 0.5:1 to 0.4:1. These sites are located within or are immediately adjacent to the Bowral Conservation Area and are unlikely to be developed into medium density with a density of 0.5:1.

03 General Recommendations



Figure 38 Existing FSR diagram with recommendations for Bowral

03 General Recommendations

3-3 LEP Recommendations

Moss Vale

Identification of new medium density sites

Under the current LEP, medium density typologies are only permissible within the R3 Medium Density zone (R3 zone). As shown in Figure 39, there are approximately 420 lots zoned R3 Medium Density in Moss Vale, only 58 of which are unconstrained. Even fewer sites are available when recently developed sites and existing aged care centres are eliminated. The limited potential of existing R3 zoned sites that can be developed for medium density, highlights the need for the identification of additional sites for medium density in Moss Vale.

Lot Size

Under the current LEP, all of the medium density sites in Moss Vale have a minimum subdivision lot size of 700m<sup>2</sup>. This requirement enables landowners to subdivide large lots, instead of encouraging the amalgamation of lots for the development of medium density. It is recommended that the minimum subdivision lot size be increased to 1000m<sup>2</sup> to discourage such subdivision.

FSR/Heights

Under the current DCP, all land zoned R3 Medium Density Residential has been divided into three sub-zones – Zones A, B and C which are linked to density controls. To increase certainty and clarity it is recommended that FSR and Height controls are linked to the sub zones and included in the LEP as follows

Sub-zone	Max. FSR	Max Height
A	0.4:1	6m
B	0.5:1	9m
C	0.6:1	11m

In addition the following recommendations are made to amend the controls for some of the areas in the town to better reflect their existing context.

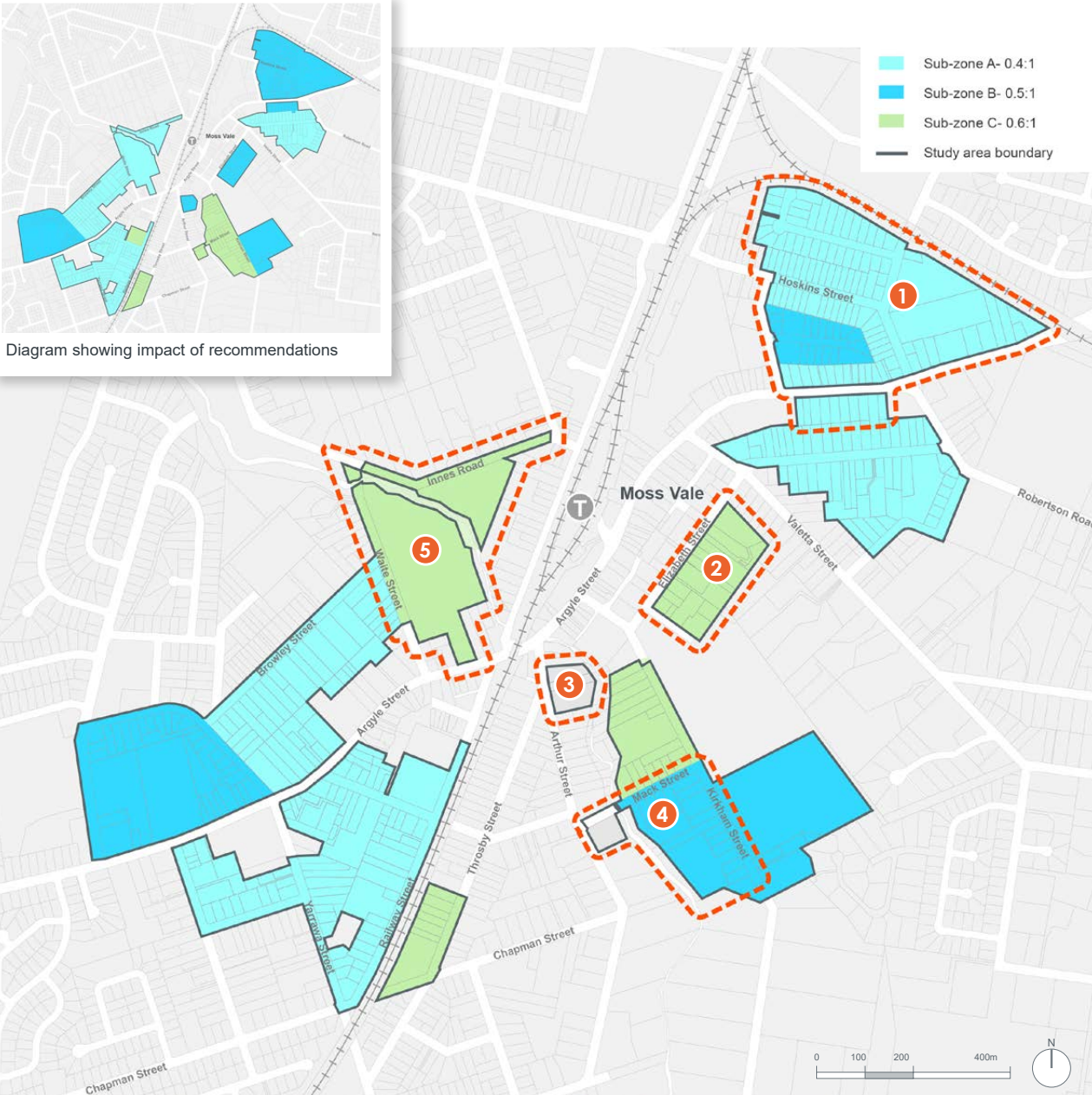
Recommendation

Depending on the findings of additional feasibility studies it may be advisable to:

FSR	
1	Consider increasing the FSR of the medium density sites along Argyle Street between the Moss Vale-Unanderra Railway line, Hawkins Street and Goode Park from 0.4:1 to 0.5:1. The area forms the northern gateway to Moss Vale Town Centre and fronts an existing highway and major road. Given the location and amenity surrounding the sites, increasing the density on these sites would enable development that provides a gradual increase in height from the surrounding low density residential zones towards the town centre.
2	Consider decreasing the FSR of the sites southwest of Elizabeth Street from 0.6:1 to 0.5:1. These sites are surrounded by the Valetta St Conservation Area. Reducing the density on these sites would enable a sympathetic transition from the HCA to the town centre facilities.
3	Under the current controls, three medium density lots along Arthur Street do not have an existing FSR. It is recommended that these sites have an FSR of 0.5:1 to enable a gradual transition from the HCA to the surrounding higher density residential areas.
4	Consider increasing the FSR of the medium density sites south of Mack Street from 0.5:1 to 0.6:1, given the high amenity surrounding the site including the proximity of the area to the retail centre and public transport.
5	Consider reducing the maximum FSR for the medium density sites east of Waife Street from 0.6:1 to 0.4:1. The large site is listed as heritage item and currently accommodates the St Paul's International College. The site is unlikely to be developed into medium density with a density of 0.6:1.



03 General Recommendations





## Chapter 4 DCP Recommendations

- 4-1 Influence of the DCP
- 4-2 Site Amalgamation & Minimum Frontage Requirements
- 4-3 Site Planning
- 4-4 Density and Site Coverage
- 4-5 Street Presentation
- 4-6 Front Setbacks
- 4-7 Side Setbacks
- 4-8 Rear Setbacks
- 4-9 Building Heights
- 4-10 Building Design
- 4-11 Dwelling Mix
- 4-12 Privacy
- 4-13 Materials and Colours
- 4-14 Landscaped Open Space
- 4-15 Parking, Garaging, Driveways and Common Paved Areas
- 4-16 Other Issues
- 4-17 Sub-zone A Overview
- 4-18 Sub-zone B Overview
- 4-19 Sub-zone C Overview

## 04 DCP Recommendations

### 4-1 Influence of the DCP

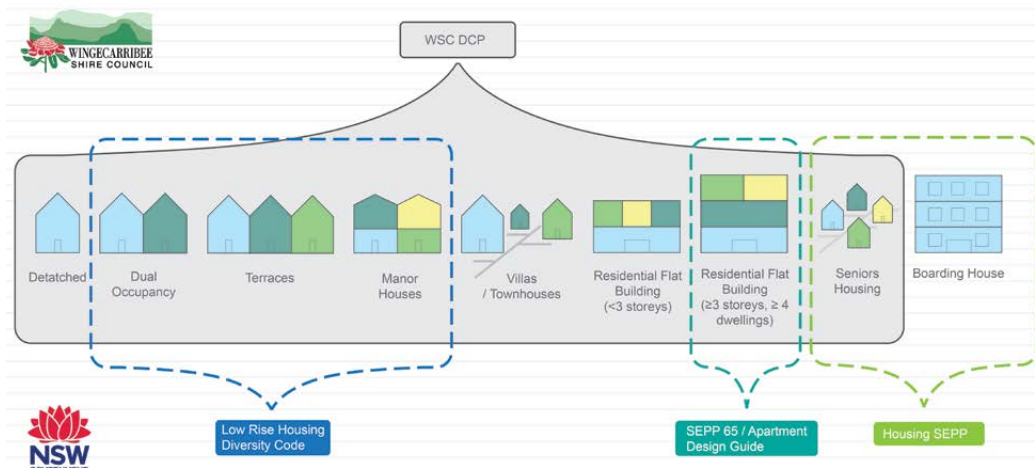


Figure 40 The Wingecarribee DCP is one of many planning controls that helps shape the outcome of medium density development in the Shire

The scale, type and character of medium density housing that can occur within a R3 Medium Density zone in the Wingecarribee Shire is controlled by a combination of both local and state government planning controls and legislation.

Medium density villas, townhouses, and residential flat buildings (under 3 storeys high or 3 storeys but less than 4 dwellings) are the typologies where Council has the most opportunity to influence the design as they are currently only required to consider the Wingecarribee Shire Development Control Plan (DCP).

Other medium density typologies such as dual occupancies, terraces and manor houses can follow the DCP controls or may be able to be approved as complying development under the Low Rise Housing Diversity Code. If the proposal complies with all the relevant requirements in the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 (Codes SEPP).

Additionally, under the Housing SEPP, other dwelling types such as Co-Living Housing and Build to Rent are permitted, where a residential flat building is permitted, and Independent Living Units and Boarding Houses are permitted in R3 - Medium Density zones if the site meets specific requirements.

Residential Flat Buildings that are 3 or more storeys and have 4 or more dwellings are required to also address SEPP 65 and the Apartment Design Guide. These developments are required to comply with a combination of Local Council and State Government controls.

The following chapter includes recommendations proposed for the Wingecarribee Shire Council DCP 'Section 3 - Medium Density Development'. These recommendations focus on changes that can be made to the DCP to help improve the outcomes of medium density development within R3 zones. However, it is acknowledged that the DCP is just one tool to help shape the built form outcomes and other approval pathways may create differing types of medium density dwellings in the Shire.



## 04 DCP Recommendations

### 4-2 Site Amalgamation & Minimum Frontage Requirements

#### Stakeholder Commentary

Consultation identified that the requirement for a 25m minimum lot width was a barrier to medium density development, and the control is difficult to interpret for irregular shaped lots and isolated sites. The minimum lot size was also being interpreted as the minimum site area for development.

Incentives for amalgamation was raised as a way of encouraging medium density housing as some lots are 100m deep with a 20m frontage. It was also identified that a minimum site area for integrated housing, that allowed subdivision after development, would allow Torrens title for some types of development such as terraces.

#### Selected controls for review

Current Control	Commentary	Modified/ New Control
C3.1.2 (e) <i>.....Within the R3 zones, Council would prefer to encourage site amalgamation of redevelopment to provide newer housing stock with the potential for more housing choice and the opportunity to provide an appropriate standard of infrastructure.</i>	Consider incentives that encourage site amalgamation, such as an increase in FSR/ height for larger sites. Amalgamated sites typically have greater opportunities to achieve the maximum FSR/height while still providing adequate vegetation, parking and setbacks.	<i>In accordance with the bonus provisions in the LEP, amalgamated sites over 3000m<sup>2</sup> located in Zone B or C (see Figure 64 and Figure 69) may be eligible for an increase in +0.1:1 maximum FSR and a +2m maximum increase in height for development that is more than 10m off any site boundary.*</i>  <i>*Subject to Council satisfaction that the proposed development meets the objectives and other controls contained in this section of the Plan.</i>
C3.2.2 (a) <i>Medium density development must have "at least 25 metres of site frontage to a public street or other appropriate public place".</i>	It is recommended that the minimum 25m site frontage is not modified as it has helped reduce the number of poorly designed developments in the shire (See Figure 41).  Consider adding a note that acknowledges variations may be considered by Council if all other objectives/controls are met, however achieving the maximum FSR may not be possible.	<i>.....For irregular shaped or isolated sites where a variation is proposed, Council must be satisfied that the development meets the objectives and other controls contained in this section of the Plan.</i>  <i>Note: On smaller or irregularly shaped sites it may not be possible to achieve the maximum FSR.</i>
C3.2.2 (d) <i>In the case of a battle-axe block, Council will consider a street frontage of less than 25 metres provided: (i) the width of the block at the end of the access handle is at least 25 metres in its entirety, and (ii) that width is parallel to the street, and (iii) the area of the site provides for a development which meets the objectives and other controls contained in this section of the Plan.</i>		Figure 42 proposed to help illustrate battleaxe requirements.
<i>new</i>	<i>new</i>  New control to guide the development of isolated sites.	<i>Development of existing isolated sites may not be able to achieve the minimum site frontage requirements or the maximum site potential, particularly for height and floor space. Assessment of isolated sites will be on merit.</i>  <i>The development of isolated sites is not to detract from the character of the streetscape, and is to provide the minimum required landscaping and maintain satisfactory levels of amenity for residents.</i>

04 DCP Recommendations



Figure 41 Amalgamating sites can reduce the amount of driveways required and increase the potential area for landscaping.

04 DCP Recommendations

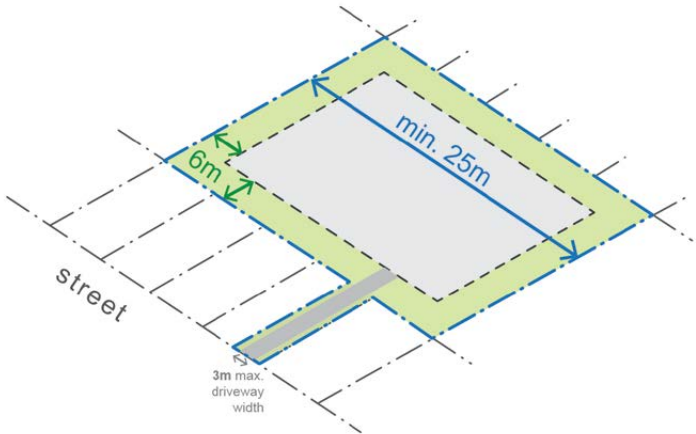


Figure 42 Minimum requirements for battle-axe medium density developments

4-3 Site Planning

Selected controls for review

			New Objective
new	new	New objective to consider existing topography and excavation impacts when site planning.	Consider the existing topography and slope and minimise the impact of excavation on the natural landform and adjoining properties.
Current Control		Commentary	Modified/ New Control
C3.3.2 (d)	Limits the proportion of dwellings which are more than 50 metres from a public street.	Comments indicated that this control is not typically applied. Development to the rear of the site is to be minimised via minimum rear setback requirements (see 4-8 Rear Setbacks).	Remove.
new	new	Consider requiring all large development sites to involve an Urban Designer (or similar professional) to strengthen the site planning outcomes.	Development sites over 10,000m <sup>2</sup> should be designed in conjunction with a qualified Urban Designer (or similar professional) to ensure development creates a high quality outcome that responds to the character of the site and mitigates impacts on neighbours. A design verification statement should be submitted along with the application that: <ul style="list-style-type: none"><li>• verifies the designer designed, or directed the design of the development</li><li>• outlines how the building(s) creates a high quality outcome, responds to the local context and maintains or improves the amenity of neighbours</li></ul>
new	new	New control that aims to limit the amount of excavation and ensure new development responds to surrounding context.	The design of the building footprint minimises cut and fill, and establishes ground floor levels that generally correspond to those of adjoining buildings.



## 04 DCP Recommendations

### 4-4 Density and Site Coverage

See section '3-3 LEP Recommendations' for proposed changes to the FSR controls.

### 4-5 Street Presentation

#### Selected objectives/ controls for review

New Objective		Commentary	New Objective
new	new	New objective to strengthen the streetscape character and improve passive surveillance.	<i>To ensure new development addresses and defines the street through entrances, lobbies, windows, balconies and thoughtful facade design.</i>
new	new	New objective to promote consistent front fencing and strengthen the streetscape character.	<i>To ensure fences, in particular along the public street, support the neighbourhood character.</i>
New Control		Commentary	New Control
new	new	New control to strengthen the streetscape character and improve passive surveillance.	<i>Each dwelling that has a street frontage is to be designed so that access to the front door is clearly identifiable and visible from the public street and has at least one habitable room with a window overlooking the street.</i>
new	new	New controls to ensure appropriate front fencing and to strengthen the streetscape character.	<i>Front fences should be picket, wrought iron or masonry style with a minimum transparency of 25% and a maximum height of 1.0m. Posts or piers may extend above this height by 0.2m. Hedges integrated with the fence can be to a height of 1.2m maximum.</i>
new	new		<i>Return fences (the side fence between the front boundary and front elevation of the house) are to be the same height and design as front fences/ or coordinated with neighbour.</i>
new	new		<i>Closed front fences with a maximum height of 1.8m may be considered where the site adjoins a busy road or other undesirable noise sources. These fences should be screened by landscaping.</i>
new	new		<i>The use and/or design of fences and walls in streetscapes of significance are appropriate to the heritage or environmental context.</i>

## 04 DCP Recommendations

### 4-6 Front Setbacks

Front setbacks an integral part of the streetscape and their treatment is fundamental to the amenity and character of a neighbourhood. Combined with building height and road reserve width, they define the proportion, scale and visual enclosure of the street. The setbacks also provide for landscaping, entries to dwellings and deep soil areas, enhance the setting of the dwelling(s), enable views from the building to and from the street, and provide a transition between public and private space.

#### Stakeholder Commentary

Consultation identified solar access as a key criteria for development in regional areas, with regard to private open space (POS) as well as overshadowing along the streets for footpaths, and comments were made that it should be reflected more prominently in the controls. Current controls for front setback also do not take into consideration areas with a deep front setback, and should provide clear direction for areas undergoing transition.

#### Selected controls for review

Current Control	Commentary	Modified/ New Control
<p>C3.6.2 (c) <i>Where properties immediately adjacent to the proposed development do not feature a consistent front setback:</i></p> <p><i>(i) If the difference between existing front setbacks is 2 metres or greater, new buildings can adopt a setback within the range established by adjacent buildings.</i></p> <p><i>(ii) If the difference between existing front setbacks is greater than two (2) metres, new buildings will adopt an average of the existing setbacks.</i></p>	<p>Requiring new development to be setback to the average of neighbouring development or 7m, whichever is the lesser, will change the character of some streets with generous existing setbacks, by bringing the buildings forward. However this will help to transition R3 zones towards supporting more medium density dwellings. This should only occur outside of conservation zone(s).</p> <p>The introduction of a 45 degree angled plane should help to reduce the bulk and scale of new development when viewed from the street.</p>	<p><i>Front setbacks are to be the average of neighbouring built form on each side (where relevant) or a minimum of 7m from the primary street boundary, whichever is the lesser.</i></p> <p><i>In addition, where an upper storey is permissible, built form including roofs must be within the 45 degree angular plane from a vertical distance above ground level of 4.5m (Sub-zone A) or 7.5m (Sub-zone B &amp; C) at the minimum primary street setback as illustrated in Figure 45 and Figure 46.</i></p> <p><i>Note: Notwithstanding compliance with the other controls in this DCP, Council may require building setbacks to be increased on developments located within the vicinity of a heritage item and/or adjoining a conservation area, to minimise any adverse impacts on the heritage significance or distinctive character of such items.</i></p>
<p>C3.6.2 (d) <i>In the case where adjacent setbacks are not relevant, the minimum front setback for:</i></p> <p><i>(i) Residential flat buildings will generally be nine (9) metres.</i></p> <p><i>(ii) Multi dwelling housing, other than other than residential flat buildings, will generally be eight (8) metres.</i></p>	<p>Different setbacks and heights for different typologies creates inconsistent built form along a street.</p> <p>It is recommended that all medium density developments have the same front setback requirements (see above).</p>	

04 DCP Recommendations

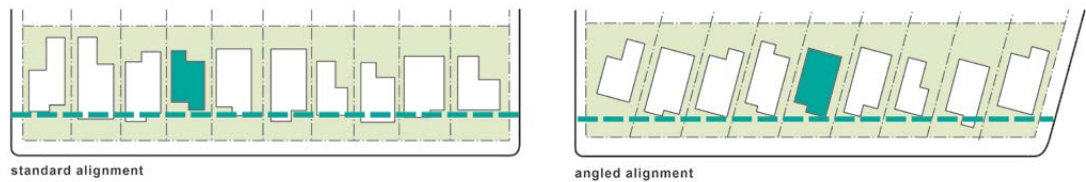


Figure 43 Front setbacks of new development will be consistent with those of the buildings immediately adjacent to the site and to those in the immediate vicinity.

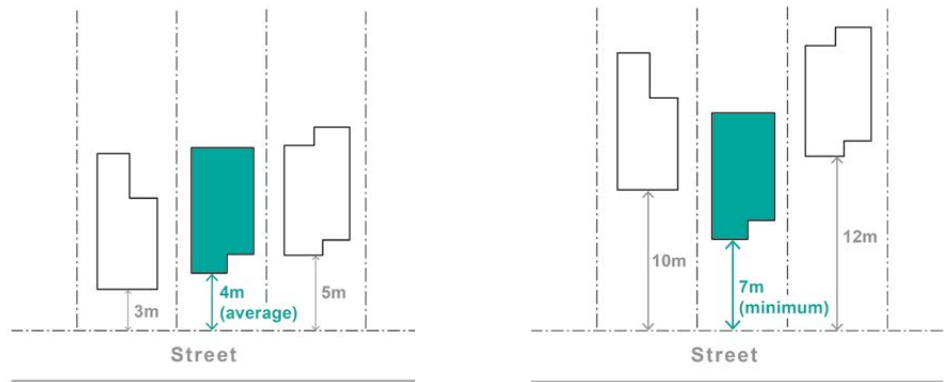


Figure 44 Front setbacks are to be the average of neighbouring built form on each side (where relevant) or a minimum of 7m from the primary street boundary whichever is the lesser.

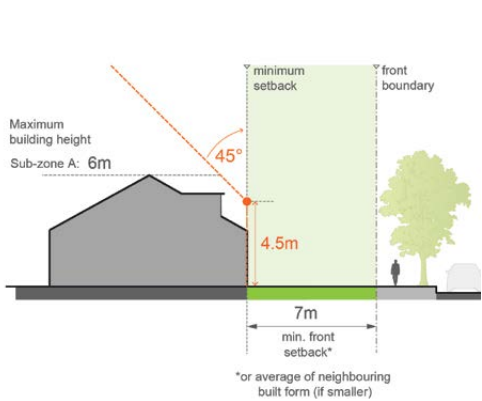


Figure 45 Proposed front setback control (Sub-zone A)

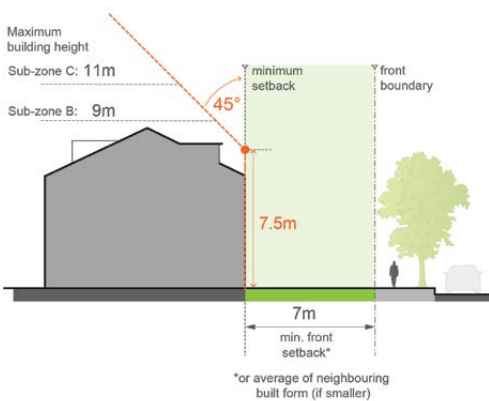


Figure 46 Proposed front setback control (Sub-zone B and C)

## 04 DCP Recommendations

### 4-7 Side Setbacks

Side setbacks are particularly important in residential neighbourhoods that experience an increase in density, as they provide separation to neighbouring sites to allow for sunlight access, and visual and acoustic privacy. Adequate separation distances also allow airflow around properties which helps to reduce the heat island effect.

#### Stakeholder Commentary

Consultation identified solar access as being a key criteria for development in regional areas, with regard to private open space (POS) and overshadowing of neighbouring sites and should be reflected more prominently in the controls. There was also concerns expressed regarding privacy and overlooking where the rear or 'backs' of new development overlooked adjoining properties.

#### Selected controls for review

Current Control			Commentary	Modified/ New Control
C3.7.2 (b) , (d) - (e)	Applies To:	Side Setback	New diagrams prepared to help illustrate existing controls.  Existing minimum side setbacks are appropriate but the addition of a 45 degree angled plane would help minimise bulk and scale of upper levels.	<i>Where upper storeys are permissible, built form including roofs must be within a 45 degree angular plane taken from a vertical distance of 3.6m (Sub-zone A) or 5.0 metres (Sub-zone B and C) above ground level from the minimum side boundary setback. Refer Figure 47 and Figure 48.</i>
	Development with relevant adjacent setbacks	Generally consistent with the immediate adjacent context.  Min. requirements for RFBs: <ul style="list-style-type: none"><li>• 1.5 metres + height of the building in metres.</li></ul> Min. requirements for Multi-dwelling housing: <ul style="list-style-type: none"><li>• 2m side setback for buildings up to 3m.</li><li>• 3.5m setback for buildings higher than 3m.</li></ul>		
	RFBs where adjacent setbacks are not relevant	Satisfies min. requirement + Based on merit		
	Other multi dwelling housing where adjacent setbacks are not relevant	Satisfies min. requirement + Based on merit		

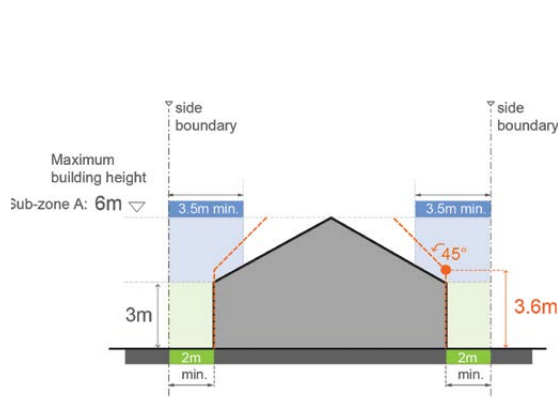


Figure 47 Minimum side setback controls (Sub-zone A)

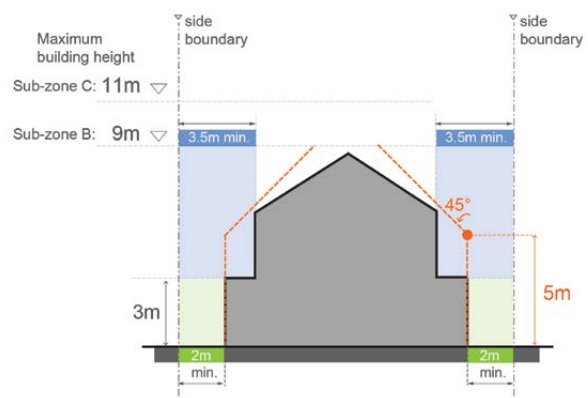


Figure 48 Minimum side setback controls (Sub-zone B and C)



04 DCP Recommendations

4-8 Rear Setbacks

Rear setbacks can provide the opportunity for connected areas of deep soil, enable mature trees and habitat corridors which increase biodiversity and residential amenity and improve the local micro climate. Often these mature trees can be seen from the street which adds to the desired ‘garden suburb’ neighbourhood character.

Stakeholder Commentary

Consultation identified that rear setbacks should be increased compared to the current requirement, to allow the opportunity to locate landscaped and deep soil areas. This will create landscaped corridors to the rear of properties in conjunction with neighbouring sites.

Selected controls for review

Current Control		Commentary	Modified/ New Control
C3.8.2 (b)	Rear setbacks of new development will be generally consistent with those of existing adjacent development.	Consider adding a quantitative minimum rear setback dimension to protect opportunities for tree retention and connected deep soil zones.	Rear setbacks of new development will be generally consistent with those of existing adjacent development.  Notwithstanding, minimum rear setback for all medium density housing is 6m.  All setbacks within battle-axe developments must be a minimum of 6m as shown in Figure 42.
new	new	New control and diagram proposed to strengthen rear setback controls and minimise overshadowing and protect privacy of neighbours.	Built form including roofs must be within a 45 degree angular plane from the rear site boundary as illustrated in Figure 49.
new	new	Small scale structures that have a minimal impact on privacy/overshadowing may potentially be located within the rear setback.	Note: Single storey small ancillary structures, such as carports, garages or sheds may potentially be able to encroach into rear setback (subject to Council approval) if they contribute positively to the overall design and do not impact deep soil plantings, existing trees or the amenity of neighbours.

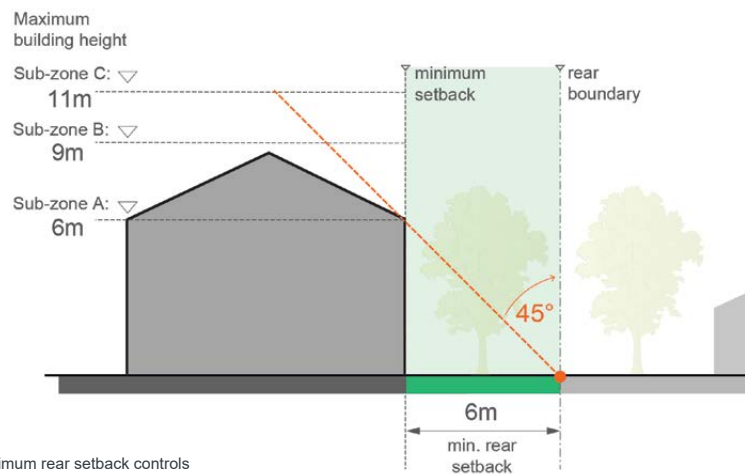


Figure 49 Minimum rear setback controls

## 04 DCP Recommendations

### 4-9 Building Heights

Building heights shape the desired future character of neighbourhoods and define the level of enclosure, and the scale and proportions of streets and public spaces. In conjunction with setbacks and site coverage requirements, they are a key control for the basic building envelope within which development can occur and provide certainty around the intensity of future built form to the community, landowners and developers.

#### Stakeholder Commentary

Consultation identified overshadowing of buildings as a key concern for the community, especially when it comes to comparing increased building footprint and increased building height. Comments indicated that applying an overall height limit is better than varying height per typology and heights could be varied according to precincts or sub-zones. There was a need for controls for addressing overshadowing with stepped built form, especially when adjacent to low-density properties.

#### Selected objectives/ controls for review

Current Objective		Commentary	Modified Objective
C3.9.2 (c)	<i>To minimise overshadowing of neighbouring properties by new development.</i>	It was highlighted that public streets and footpaths should also not be overshadowed.	To minimise overshadowing of neighbouring properties and public spaces/streets by new development.
Current Control		Commentary	Modified/ New Control
C3.9.3 (a) - (c)	<b>Maximum building heights</b>	It is recommended that maximum building heights be shown on the Sub-zone map (see Figure 51) instead of being based on dwelling typologies.  This should achieve consistent building heights which respond to each existing precinct's character.  Building heights are proposed to be 6m (1 storey), 9m (2 storey) and 11m (3 storey).	<i>Development is to conform with the maximum building heights as shown in Figure 51 and Figure 52.</i>
	Applies To:		
	Maximum (storeys)		
	Maximum (m)		
	Residential Flat Buildings	3 storeys (third floor within roofline)	12m
	Other medium density housing	2 storeys	9m
	All medium density housing in HCAs	1 storey (additional spaces allowed within roof form)	6m
C3.9.3 (b)	<i>The maximum height of a residential flat building shall not exceed three (3) storeys in height as defined above, the third storey being located within the roofline.....</i>	As building heights are proposed to be shown on a map and no longer based on typologies, other typologies (such as terraces) could potentially become three storeys. This control should be modified to ensure any three storey dwelling in Sub-zone B has the upper storey integrated within the roofline.	<i>Any additional storey (i.e. room in the roof) in Sub-zones A and B must be set within the roof line and conform with the overall maximum building envelopes shown in Figure 52.</i>

## 04 DCP Recommendations

Current Control		Commentary	Modified/ New Control
C3.9.3 (d)	<i>The roof pitch shall reflect the dominant roof forms of the existing streetscape.</i>	A maximum roof pitch is suggested to be added to ensure a consistent outcome.	<i>The roof pitch shall reflect the dominant roof forms of the existing streetscape and should not exceed 35°.</i>
new	new	A control to acknowledge that building heights may need further refinement in response to heritage items.	<i>Development in a heritage conservation area, or in close proximity to a heritage item or conservation area, should respond appropriately to the visual curtilage of heritage items. Development may be required to transition in height at sensitive interface areas adjacent to heritage items and/or have increased setbacks and/or landscaping.</i>



Figure 51 Proposed maximum building height sub-zone maps

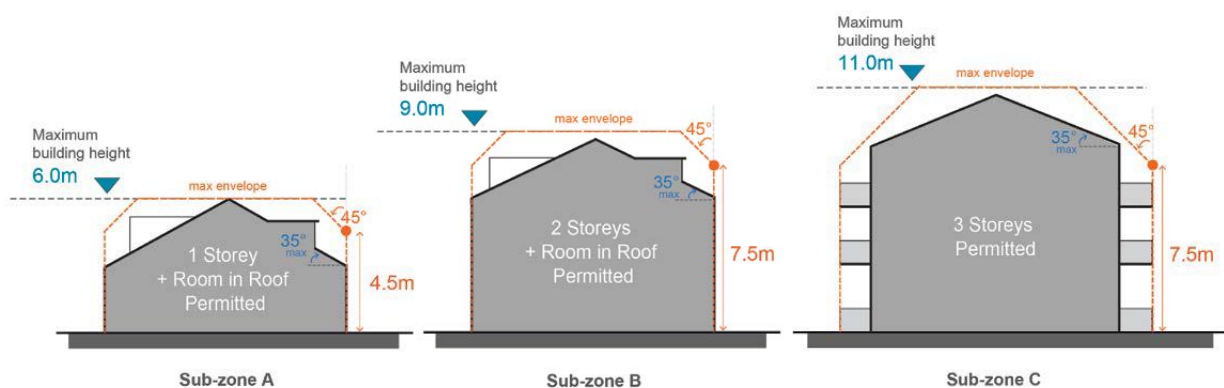


Figure 52 Proposed maximum building envelopes

## 04 DCP Recommendations

### 4-10 Building Design

#### Stakeholder Commentary

To achieve well designed medium density outcomes, it is recommended that the controls consider specifications for facade articulation, breaks between continuous built-form to offer views of the landscape, and address scale and style of buildings that reflect the local character and heritage of the area.

Consultation also identified that the location and design of services is not addressed in the current controls, which leads to poor design and placement of services. It is recommended that services should carefully located with consideration to visual impact utilising landscaping and fencing treatment where appropriate.

#### Selected controls for review

Current Control		Commentary	Modified/ New Control
C3.11.2 (h)	<i>All buildings in the development shall be generally of brick, brick veneer or masonry construction, allowing that a proportion of the external cladding may be of special feature material.</i>	These materials have been highlighted as being in need of an update in 2022, including removing brick veneer.	Recommend relocating this control from 'Building Design' to 'Materials and Colours'.
C3.11.2 (l)	<i>A balcony shall not encroach more than 2 metres or 25 percent, whichever is the lesser, on the setback to the front, rear and side boundaries. No part of any means of enclosure of a balcony shall exceed a height of 1.2 metres.</i>	Recommend modifying this control to ensure balconies do not encroach into any <u>side setbacks</u> to protect the privacy and sensitivity of neighbouring properties.	<i>A balcony shall not encroach more than 2 metres or 25 percent, whichever is the lesser, into the front or rear setbacks. A balcony shall not encroach into side setbacks unless more than 6m off the boundary. No part of any means of enclosure of a balcony shall exceed a height of 1.2 metres.</i>
new	new	New control that encourages developments to activate the street with individual building entries.	<i>All ground floor dwellings facing the street should have individual pedestrian entries to the street.</i>
new	new	To provide a quantitative control to promote building articulation.	<i>Façades should be well articulated and have no more than 10m of unarticulated length. Roof forms should also be modulated.</i>
new	new	Provide a control that addresses corner sites.	<i>For corner sites, buildings should be designed to address both street frontages and views of both street façades should be well considered. The building form must consider how it 'turns' the corner and responds to prominent views from different angles.</i>



04 DCP Recommendations

Current Control		Commentary	Modified/ New Control
new	new	Provide a control that addresses the visibility of building services.	<i>Building services, such as drainage pipes, fire hydrants and protection services, vent shafts, substations, air conditioning units and any security devices, should have minimal visual impact on the street and their location shown on the development application plans.</i>
new	new		<i>Structures such as paths, letter boxes, garbage storage and the like are permitted in the front setback where:</i> <ul style="list-style-type: none"><li><i>The structures are thoughtfully sited and designed to integrate with the building or the fence, minimise the impact on the streetscape and contribute to the character of the streetscape.</i></li><li><i>The garbage storage structures are screened where possible.</i></li><li><i>Sufficient areas for deep soil landscaping are retained.</i></li></ul>
new	new	New control to ensure external clothes drying areas are suitably located.	<i>Each dwelling is to have an outdoor clothes drying area that has access to sunlight, and is located in a secure place and screened from public view.</i>
new	new	Provide a control to ensure building access areas are easy to identify.	<i>In residential flat buildings, lift lobbies should be clearly visible from the street and communal spaces.</i>
new	new	Provide a control that encourages well designed and appropriately defined ceiling heights.	<i>Ceiling heights should allow for sufficient daylight penetration into the room and achieve minimum floor to ceiling heights as shown in Figure 53.</i>

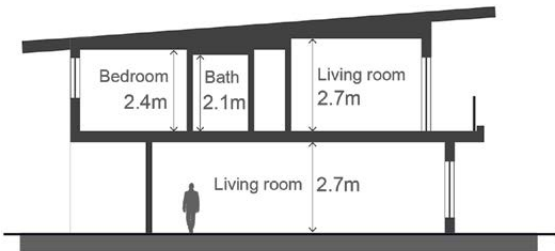


Figure 53 Minimum floor to ceiling heights

## 04 DCP Recommendations

### 4-11 Dwelling Mix

A key requirement of medium density development in the LGA is that it provides for smaller households. Ideally new development should provide a mix of dwelling sizes to cater for a range of different household types and improve housing choice for all types of people.

#### Stakeholder Commentary

Consultation identified that new developments have not been delivering a wide mix of dwelling sizes and there is a need to encourage the delivery of smaller units (responding to the demographic trend in smaller households) to offer greater housing diversity. In addition, it is anticipated that there will be a need to accommodate those in the area who are ageing in place.

#### Selected controls for review

Current Objective		Commentary	Modified Objective
C3.12.1 (a)	<i>Provide a range of dwellings types and sizes.</i>	It is recommended that a mix of dwelling sizes, that encourages smaller dwellings, is provided.	<i>Provide a range of dwellings types and sizes including studio, one, two and three bedroom dwellings; in accordance with the planning priorities identified in the Wingecarribee Local Housing Strategy.</i>
Current Control		Commentary	Modified Control
C3.12.2 (a)	<i>Multi dwelling housing that proposes more than eight (8) dwellings should provide a mix of dwelling sizes, both in terms of both the number of bedrooms and the size of the rooms.</i>	Dwelling mix should be more widely encouraged eg. for all multi dwelling housing over 4 dwellings.	<i>Multi dwelling housing that proposes more than four (4) dwellings should provide a mix of dwelling sizes, both in terms of the number of bedrooms and the size of the rooms.</i>
new	new	New control to specify the minimum requirements for smaller dwelling types.	<p><i>Developments should include a mix of 1, 2 and 3 bedroom dwellings:</i></p> <ul style="list-style-type: none"> <li><i>Where 4 or more dwellings are proposed in a medium density development, 1 in every 4 dwellings must be 2 bedrooms or less and no greater than 85m<sup>2</sup>.</i></li> <li><i>Where 6 or more dwellings are proposed in a medium density development, 1 in every 6 dwellings must be 1 bedroom or less and no greater than 65m<sup>2</sup>.</i></li> </ul> <p><i>For example, where a total of 7 dwellings are proposed in a development, at least one 2 bedroom (or less) dwelling and one 1 bedroom dwelling shall be provided.</i></p> <p><i>Where a total of 12 dwellings are proposed in a development, at least three 2 bedroom dwellings (or less) and two 1 bedroom dwellings shall be provided.</i></p>
new	new	To encourage the delivery of smaller dwellings, it is also recommended that smaller private open spaces are required for smaller dwellings.	(Refer 4-14 Landscaped Open Space recommendations)

04 DCP Recommendations

4-12 Privacy

Stakeholder Commentary

Consultation with the community noted that medium density development, especially two-storey development backing on to private back gardens (i.e. the rear of one property backing onto the side of an existing property), is impacting privacy and should be taken into consideration.

Selected controls for review

Current Control		Commentary	New Control
		New quantitative control to strengthen the privacy of neighbours by increasing the setbacks between neighbours and living spaces.	<p><i>Living room windows on the ground floor that have a sill height of &lt;1.5m can face the side boundary only if set back by a minimum of 4m.</i></p> <p><i>Living rooms (with a window sill height of &lt;1.5m) and balconies located above the ground floor should be setback a minimum of 6m from any site boundary. (See Figure 54)</i></p> <p><i>Note: Living room, as defined in the Low Rise Housing Diversity Design Guide, includes a living, lounge room, dining room, family room, rumpus or any combination of the above. It excludes the kitchen component of a combined living / dining / kitchen space.</i></p>
new	new		

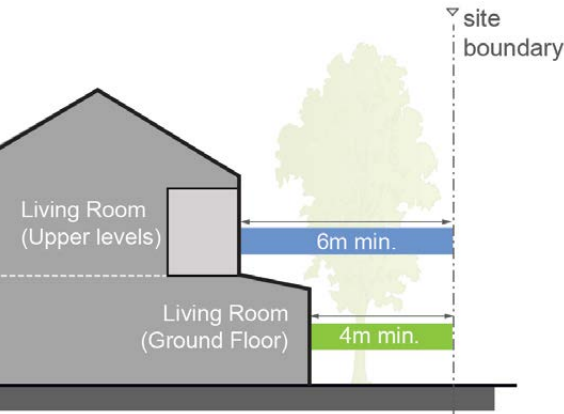


Figure 54 Ground level and upper level living rooms should have greater setbacks to neighbours to improve privacy

04 DCP Recommendations

4-13 Materials and Colours

Each building visible from the street makes a contribution to the streetscape character of the neighbourhood. The quality of materials and their compatibility to the surrounds plays a significant role in the overall success of any development. The robustness, durability, energy performance and compatibility to the surrounds should also be considered when selecting materials, textures, finishes and colours.

Stakeholder Commentary

It is recommended to include blue-stone walls and Bowral blue bricks in the materials specifications as they are a key part of the built-form character of the Southern Highlands, which work well against light weight structures.

Specifying colour palettes for the town(s) was also recommended at the consultation.

Selected controls for review

Current Objective		Commentary	Modified/ New Objective
C3.14.1	<i>The control described below is intended to encourage the use of materials in the construction of residential developments that are compatible with adjoining dwelling houses and the streetscape in terms of type, colour and form.</i>	Objective modified slightly to accommodate the inclusion of new objectives.	<i>To encourage the use of materials in the construction of residential developments that are compatible with adjoining dwelling houses and the streetscape in terms of type, colour and form.</i>
new	new	New objective that encourages materials to be more than just "compatible".	<i>To ensure the architectural appearance of new development provides visual interest and contributes to the streetscape character.</i>
new	new	New objective that encourages materials to consider quality and maintenance.	<i>To promote the use of high quality and durable materials that are suitable for the local climatic conditions.</i>
Current Control		Commentary	New Control
new	new	Encourage the usage of a mix of materials that are also complementary to the character of the street.	<i>Incorporate a mix of materials to reduce the appearance of building bulk and to integrate the building within the materials and colour palettes of the local area and complement the character of the street.</i>  <i>Materials should be textured to improve visual interest such as timber, bagged or face brickwork, and natural stonework like basalt/ bluestone.</i>
new	new	Promote a consistent colour palette that is reflective of surrounding context.	<i>Colours should be compatible with predominant colours of the existing surrounding buildings (and, in the case of heritage conservation areas, the heritage context). Bright feature colours should be avoided where possible.</i>
new	new	New control to promote sustainability and energy efficiency through the choice of building materials.	<i>External finishes should contain a combination of non-reflective materials and light colours to minimise reflection and heat retention.</i>
new	new	New control to ensure materials are durable and low maintenance.	<i>External walls/ facades should be constructed of high quality, low maintenance and durable materials.</i>



## **04** DCP Recommendations

### 4-14 Landscaped Open Space



Landscaping of medium density developments plays an important role in integrating them into the surrounding streetscape and context, and increases the amenity for neighbours and future residents. Landscaping and buildings need to be integrated and designed together. As such, landscaped areas should not be generated by 'left-over spaces' resulting from a buildings location. Tree canopy cover helps to create summer shade, has a positive impact on the local micro-climate and urban ecology, and adds to the aesthetic character of the streetscape.

A portion of the landscaped area is required to be deep soil which is free of structures (including underground structures), suitable for the growth of mature trees and vegetation and allows water to be absorbed by the soil (infiltration).

Two storey medium density typologies can create a more desirable landscape outcome than single storey dwellings, because they generally have a smaller building footprint which provides greater opportunities for landscaped areas.



#### **Stakeholder Commentary**

The 50% landscaping requirement was identified during consultation as important and generally considered to be working well, however it was highlighted that some areas were narrow and unusable leftover spaces and the focus should be on front and rear setbacks to allow canopy tree planting opportunities.

It was also suggested that there would be value in specifying planting in the controls: height, colour, plant and tree types, hedges, and retaining existing mature trees, as the country garden character of the towns is largely dependant on mature trees and landscaped front gardens.

It was noted that revising the controls to define proportions (min. width x length) would result in more usable spaces. Also it was highlighted by local builders/ developers that the requirement for private open space (POS) is the same for smaller dwellings - studios, one and two bedroom dwellings as it is for larger dwellings, and linking it to dwelling size would make developments with smaller dwellings more desirable. It was also suggested that there could be value in including requirements for communal open space for large developments.

**04** DCP Recommendations

**Selected controls for review**

Current Control		Commentary	Modified/ New Control									
C3.15.1 (a)	<i>Fifty per cent (50%) of any site developed for multi dwelling housing, including residential flat buildings, shall comprise Open Space and be landscaped to the satisfaction of Council.</i>	Consider reducing this to a minimum of 40% of landscaping area per site and introduce a new control that defines minimum dimensions (1.5m) required for a landscaped area to be calculated in this percentage. This should ensure the open spaces are larger and not just the 'left over' spaces being counted towards the landscaping total.	<i>Forty per cent (40%) of any site developed for multi dwelling housing, including residential flat buildings, shall comprise Open Space and be landscaped to the satisfaction of Council.</i>									
new	new		<i>Calculation of Open Space/ landscaped/ deep soil areas is not to include any land that has a length or a width of less than 1.5m.</i>									
new	new	Quantitative control for deep soil requirements proposed.	<i>50% of the required Open Space/ landscaped area should be deep soil landscaping to support mature trees.</i>									
new	new	Provide new control that encourages landscaping in the front and rear setbacks.	<i>Landscaped areas, tree planting and deep soil zones should be provided in all setbacks, with a focus in the front and rear setbacks.</i>									
C3.15.1 (r)	<i>Driveways shall be located a minimum of one (1) metre from any side boundary.</i>	Consider moving this to the following 'Parking, Garaging, Driveways and Common Paved Areas' section.	Control to be moved to 'Parking, Garaging, Driveways and Common Paved Areas'									
C3.15.1 (e-g)	<table><tr><th>Applies To:</th><th>Minimum area</th><th>Minimum dimension</th></tr><tr><td>Residential Flat Buildings:</td><td>Dwellings on ground floor: 30m<sup>2</sup>  Dwellings above ground floor: 15m<sup>2</sup></td><td>Dwellings on ground floor: 4m  Dwellings above ground floor: 3m</td></tr><tr><td>Other medium density housing</td><td>50m<sup>2</sup></td><td>5m</td></tr></table>	Applies To:	Minimum area	Minimum dimension	Residential Flat Buildings:	Dwellings on ground floor: 30m <sup>2</sup>  Dwellings above ground floor: 15m <sup>2</sup>	Dwellings on ground floor: 4m  Dwellings above ground floor: 3m	Other medium density housing	50m <sup>2</sup>	5m	<p>It is recommended that the required Primary Private Open Space (PPOS) is linked to the dwelling size (i.e. reduced rates for studios, one and two bedroom dwellings). This is aimed at encouraging the delivery of smaller units (responding to the demographic trend in smaller households) to offer greater housing diversity and choice close.</p> <p>A minimum dimension for the PPOS should also be proposed.</p>	<i>See proposed controls on following page.</i>
Applies To:	Minimum area	Minimum dimension										
Residential Flat Buildings:	Dwellings on ground floor: 30m <sup>2</sup>  Dwellings above ground floor: 15m <sup>2</sup>	Dwellings on ground floor: 4m  Dwellings above ground floor: 3m										
Other medium density housing	50m <sup>2</sup>	5m										

## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

## 04 DCP Recommendations

Current Control		Commentary	Modified/ New Control						
See above			Proposed Minimum Private Open Space Requirements						
			Applies To:		Minimum area		Minimum dimension		
			All medium density development	Dwellings on ground floor:					
				Studio/ one bedroom:	min. 20m <sup>2</sup>		4.0m x 4.0m		
				Two bedroom:	min. 30m <sup>2</sup>				
				Three+ bedrooms:	min. 35m <sup>2</sup>				
				Dwellings on upper levels (i.e. balconies):					
				Studio/ one bedroom:	min. 8m <sup>2</sup>		2.0m x 3.0m		
				Two bedroom:	min. 10m <sup>2</sup>				
Three+ bedrooms:	min. 12m <sup>2</sup>								
			Communal Open Space						
new	new	Controls for communal open space should be included to foster social connections and provide spaces for shared facilities such as community gardens, barbecues, play equipment and shaded seating.  The size and requirements for communal open space should be linked to the size of the proposed development.	Where more than 10 dwellings are proposed, one Primary communal open space is to be provided as follows: <ul style="list-style-type: none"><li>• have a minimum area of 72.0m<sup>2</sup> ; and</li><li>• have a minimum dimension of 8.0m.</li></ul> (see Figure 56)						
new	new		Where more than 20 dwellings are proposed, 144m <sup>2</sup> of communal open space is to be provided with a minimum dimension of 8.0m. This may be provided as: <ul style="list-style-type: none"><li>• a single Primary communal open space; or</li><li>• a Primary communal open space, with minimum requirements as per above and a Secondary communal open space with minimum dimension of 8.0m.</li></ul>						
new	new		Communal open spaces should preferably be co-located with any deep soil zones on the site.						
new	new		The location of communal open spaces should optimise solar access, orientation, summer shade, visibility and outlook; and consider the privacy of the adjacent onsite residents and the neighbours to the development site.						
new	new		At least 50% of the communal open space area is to receive direct sunlight for at least three hours between 9am and 3pm on June 21.						
new	new		The design of communal open space should provide opportunities for social and recreational activities and this may include, but is not limited to, community gardens, barbecues, shaded seating and play equipment.						
new	new		The design of communal open spaces should promote safe spaces by minimising opportunities for concealment, entrapment and antisocial behaviour and ensuring passive surveillance is provided.						

04 DCP Recommendations



Figure 55 Living areas and private open spaces are best located towards the north to maximise solar access to these areas.

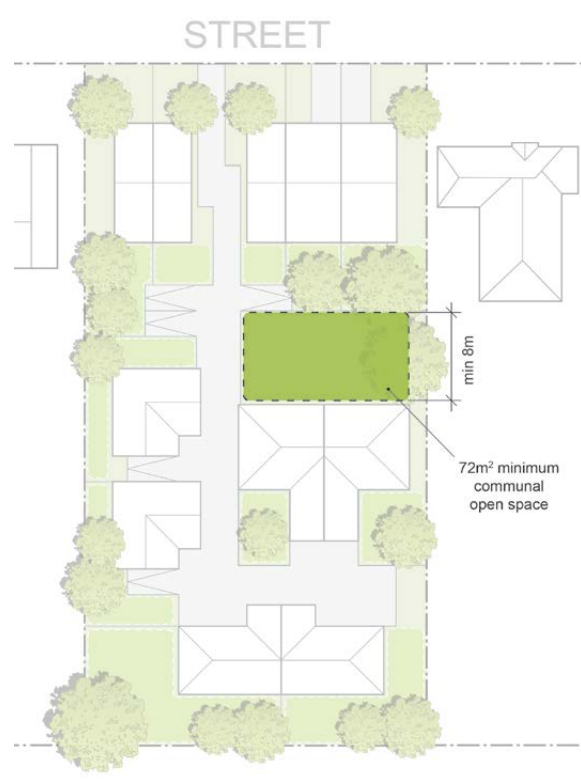


Figure 56 Communal open space should be provided where more than 10 dwellings are proposed



04 DCP Recommendations

4-15 Parking, Garaging, Driveways and Common Paved Areas

The location and design of car access and parking areas has a significant impact on the character of a neighbourhood and can potentially have a greater impact than the built form. It is critical that new medium density development is not dominated by car related uses.

Vehicle access and movement areas must not dominate the streetscape nor compromise the privacy and amenity of the site or neighbouring dwellings. At the same time, car parking needs to be safe and convenient and efficient, not dominating the site layout and reducing the landscaped areas.

Stakeholder Commentary

During consultation the number of parking spaces per dwelling and the parking requirements for RFBs were highlighted as an issue by local builders/ developers. The current requirements are higher than industry standards. Basement parking is also rare in the LGA and, as it can allow for increased landscaped areas, it may be helpful to encourage this type of development. Consultation also identified that a number of streets within areas zoned R3 zone are too narrow to accommodate additional traffic and parking and new development on these streets is creating conflicts.

Selected existing controls for consideration

New Objective		Commentary	New Objective	
new	new	Proposed new objective that aims to balance the need for car parking with other forms of transport.	To promote the benefits of public transport and active transport such as bicycles and walking.	
new	new	New objective that aims to prepare future buildings for the requirements of electric vehicles.	To encourage and support increased usage of electric vehicles.	
Current Control		Commentary	Modified/ New Control	
C3.16.2 (a)	Off street parking requirements:		Off street parking requirements:	
	Applies To:	Requirement (min/max.)	Applies To:	Requirement (min/max.)
	1-2 bedroom dwellings	1 space	1-2 bedroom dwellings	1 space
	3+ bedroom dwellings	2 spaces	3+ bedroom dwellings	2 spaces
	Visitor Parking	1 space per 3 dwellings	Visitor Parking	1 space per 5 dwellings
		The visitor parking rate could be reduced to be closer to rates used by other Councils: <ul style="list-style-type: none"><li>0.2 visitor spaces/dwelling (Central Coast Council).</li><li>Visitor parking: 1 space per 4 units (Ku-ring-gai Council).</li><li>1 visitor space per 5 medium or high density dwellings (Hornsby Shire Council).</li></ul>	Note: Visitor parking is not required for developments of 4 dwellings or less where the adjoining road carriageway is ≥9m and no street parking restrictions are in place.	

## 04 DCP Recommendations

Current Control		Commentary	Modified/ New Control
new	new	Additionally consider a reduction/ exception to visitor parking requirements for smaller medium density developments that do not have a common driveway.	<p><i>For multi-dwelling housing developments that do not have a shared common driveway, visitor parking is not required where:</i></p> <ul style="list-style-type: none"> <li>• <i>Torrens title subdivision is proposed; and</i></li> <li>• <i>each lot / dwelling has full street frontage; and</i></li> <li>• <i>each dwelling has provided the minimum parking requirements outlined above and is accessed by a separate driveway.</i></li> </ul>
new	new	<p>New control to provide adequate bicycle parking that is safe and easily accessible.</p> <p>Bicycle parking rates used by other Councils include:</p> <ul style="list-style-type: none"> <li>• 1 space per 5 dwellings (Hornsby Shire and Ku-ring-gai Councils).</li> <li>• 1 space per 3 dwellings (Wilton DCP).</li> </ul>	<p><i>Secure bicycle parking and storage facilities should be provided on site as per the following minimum rates:</i></p> <ul style="list-style-type: none"> <li>• <i>1 bicycle parking space per 5 dwellings; and</i></li> <li>• <i>1 bicycle parking space (in the form of a bicycle rail) per 10 dwellings for visitors</i></li> </ul> <p><i>Bike parking is to be provided in accordance with requirements for layout, design and security as set out in the Australian Standard AS 2890.3 -1993 Parking facilities-- Bicycle parking facilities.</i></p>
new	new	New control that requires new residential development to be designed and constructed with appropriate electrical infrastructure to facilitate the future installation of electric vehicle charging points.	<p><i>Integrate electric circuitry to accommodate 'Level 2' electric vehicle charging points into all off-street car parking in new residential development.</i></p> <p><i>'Level 2' charging in a domestic context, as defined by the NSW Electric and Hybrid Vehicle Plan- Future Transport 2056 (21 January 2019), consists of a single phase power point with a rating of 7kW.</i></p>
C3.16.2 (j)	Driveway and verge crossing materials shall complement the current streetscape, and shall be preferably of compacted earth, gravel, stone cobble or plain concrete surface. Strong textures and bright colours, including stamped concrete, shall not be permitted on driveways or verge crossings.	Permeable driveway surface treatments should also be encouraged to help minimise driveway paving.	<p><i>Driveway materials shall complement the current streetscape, and shall be preferably of compacted earth, gravel, stone cobble or plain concrete surface. <b>Permeable driveway solutions are encouraged.</b> The verge crossing materials (i.e. outside the site boundary) is to be plain concrete and match the footpath. Strong textures and bright colours, including stamped concrete, shall not be permitted on driveways or verge crossings.</i></p>

04 DCP Recommendations

Current Control		Commentary	Modified/ New Control
new	new	New control proposed to ensure basement parking doesn't visibly extend above ground and create undesirable streetscape outcomes.	<i>Basement car parking should not extend more than 1.0m above ground and should be screened or integrated with the building design so as to be visually recessive.</i>
new	new	New control proposed to minimise the visual dominance of driveways.	<i>Where a gun-barrel driveway cannot be avoided, the driveway must be curved and landscaped to Council's satisfaction to break up the appearance of the gun-barrel design.</i>
new	new	New control that provides specific controls for battle-axe driveways.	<i>Driveways for battle-axe sites, should:</i> <ul style="list-style-type: none"><li><i>generally be a maximum of 3.0m width;</i></li><li><i>driveways that are 30m or longer require a passing bay to be provided every 30m. To provide a passing bay, driveways shall be widened to 5.0m for a distance of at least 10m.</i></li><li><i>provide a minimum of 0.5m wide landscaping to side boundaries to facilitate screening.</i></li></ul>

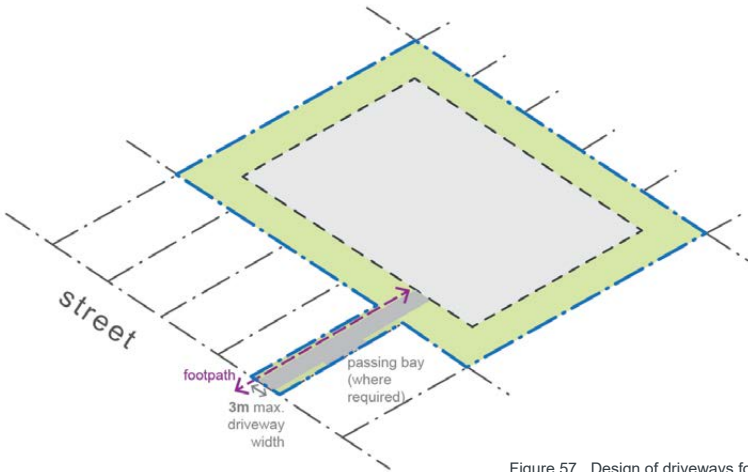


Figure 57 Design of driveways for battle-axe sites

## **04** DCP Recommendations

### **4-16 Other Issues**

No DCP changes have been proposed with regards to the existing medium density controls for dwelling orientation, pedestrian access, waste collection and adaptable housing, which are considered appropriate.

Commentary by the community, industry and council members identified other issues that need to be addressed within the DCP, including appropriate response to topography, preserving significant views, and stormwater retention. These topics are currently located in Part A of the DCP which applies to all land within the LGA.

#### **Public Views and Vistas**

(A2.2.7 Public Views and Vistas)

It is recommended that the Council, upon further investigation and consultation with the community, update the residential precincts map and identify significant views and vistas from streets and public reserves which strongly contribute to a sense of place and cultural identity. Objectives and controls to protect these views can be integrated within the character statement for each precinct. This would also help to minimise the visual impact of new development, particularly when viewed from, bushland, open space and the public domain.

#### **Landform and excavation**

(A7.4 Cut and Fill)

Stakeholders have highlighted the need to address the extent of excavation carried out by certain development. It is recommended that the Council investigate the provision of controls that regulate the maximum volume of excavation permissible for medium density development. For example, Woollahra Municipal Council specifies a maximum volume of excavation permitted for the development of residential flat buildings, manor houses, multi dwelling housing, multi dwelling housing (terraces), or attached dwelling development (including attached and detached garaging) based on the site area.

#### **Character areas**

Defining the future local character can play an important role in shaping new development. While character continues to evolve into the future with the addition of housing typologies, new development must also be sensitive to the existing local character, rather than simply replace or alter it.

Key planning controls such as height, setbacks and landscaped area are important, however other finer details are also required to ensure quality development is achieved that addresses the specific character of an area. Materiality, roof scape, trees and landscaping, fencing and even where the dwelling is positioned on the block can all shape how a neighbourhood and a street is perceived.

Some SEPP's and types of development approved under a complying development pathway rely on a local character statement. For example the DA Guide requires all Complying Development Certificate (CDC) approved development to be consistent with the local character statement.

It is recommended that the Council work with the community to identify local character areas within the Shire. Character area statements could be incorporated into the DCP, identifying objectives relevant to preserving or shaping the character in an area, with the goal of allowing for growth that is sensitive to the character of the area. Identification of critical character elements will help protect elements that mirror the long-term aspirations of the Wingecarribee community and maintain those elements in future development.



## **04** DCP Recommendations

### **Water Management Stormwater and flooding (Part A4)**

On-site stormwater retention for large sites prevents stormwater entering the already at-capacity drainage system. Requiring development to introduce stormwater management measures would help control localised flooding, stormwater quality and quantity, and improve the visual and environmental impact of stormwater drainage. The design of these areas needs to be carefully considered at the application stage to ensure the areas can be suitably landscaped and make a positive contribution to the character of the area.



Figure 58 Stormwater management should be considered as functionally and visually integrated into the overall design

04 DCP Recommendations

4-17 Sub-zone A Overview	Max. FSR	Max. Building Height
	0.4:1	6m (1 storey + 2 <sup>rd</sup> storey in roof)

Sites located in Sub-zone A have been allocated the lowest building heights and maximum FSR controls for medium density development as these locations generally feature the most sensitive interfaces such as heritage items, heritage conservation zones and land uses not expected to undergo change, such as schools.



Figure 59 SGL suggested amended Sub-zone A locations

## 04 DCP Recommendations

### Sub-zone A Key Controls

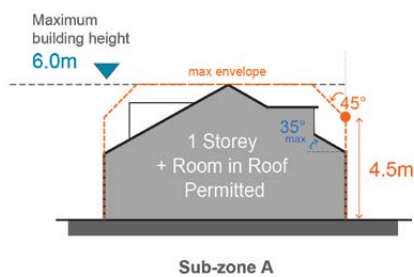


Figure 60 Maximum building envelope, Sub-zone A

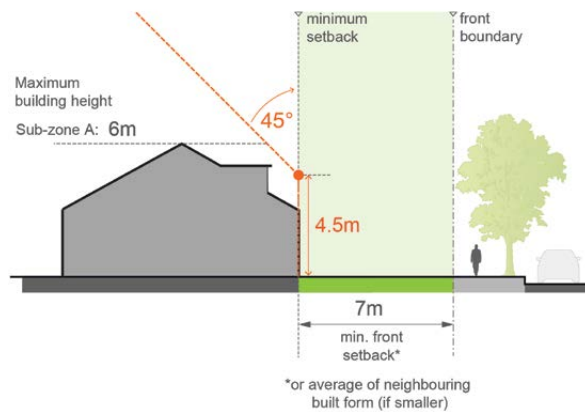


Figure 61 Minimum front setback, Sub-zone A

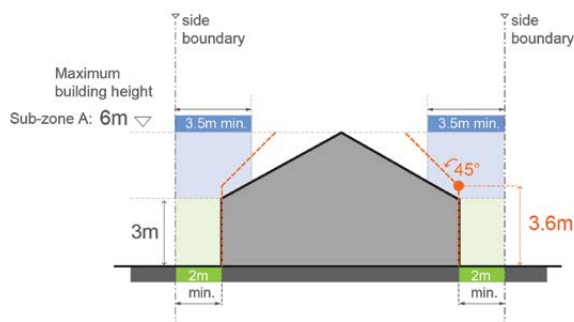


Figure 62 Minimum side setbacks, Sub-zone A

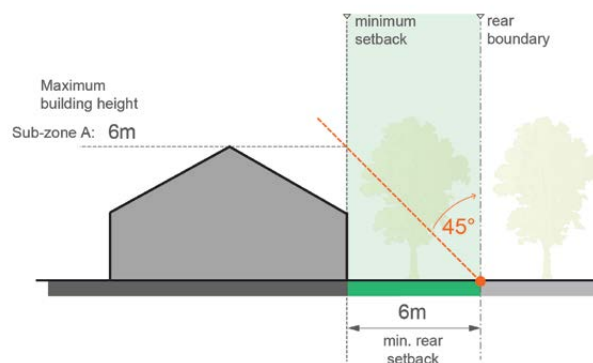


Figure 63 Minimum rear setbacks, Sub-zone A

04 DCP Recommendations

4-18 Sub-zone B Overview	Max. FSR	Max. Building Height
	0.5:1	9m (2 storeys + 3 <sup>rd</sup> storey in roof)

Sub-zone B sites are identified as having the capacity to enable medium density development which provides a gradual increase in height from the surrounding low density residential zones.



Figure 64 SGL suggested amended Sub-zone B locations



## 04 DCP Recommendations

### Sub-zone B Key Controls

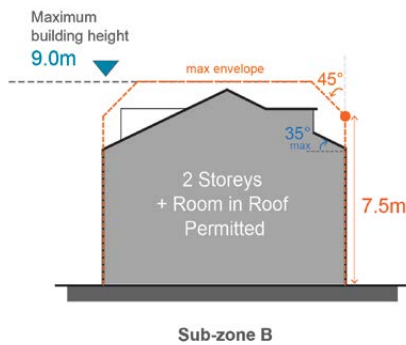


Figure 65 Maximum building envelope, Sub-zone B

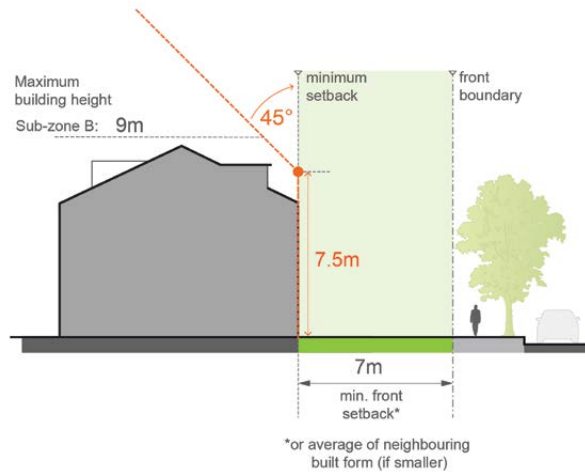


Figure 66 Minimum front setback, Sub-zone B

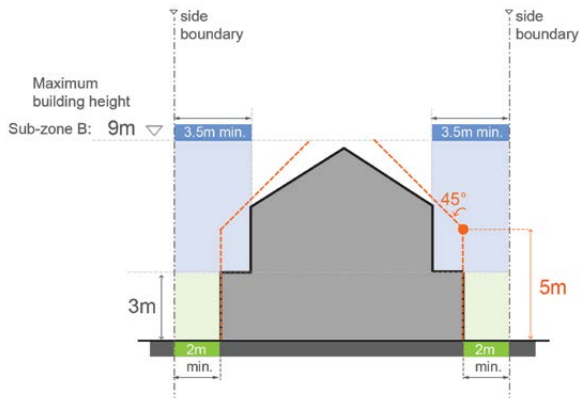


Figure 67 Minimum side setbacks, Sub-zone B

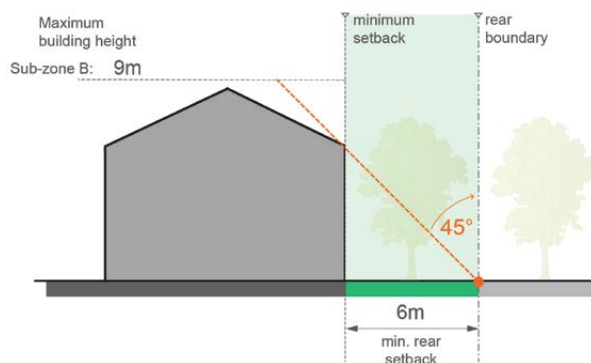


Figure 68 Minimum rear setback, Sub-zone B

04 DCP Recommendations

4-19 Sub-zone C Overview	Max. FSR	Max. Building Height
	0.6:1	11m (3 storeys)

Sub-zone C is considered the best location for the intensification of medium density development given its close proximity to high amenity areas such as retail centres, public transport nodes and green open spaces. It is considered the most suitable location for larger scale medium density development.

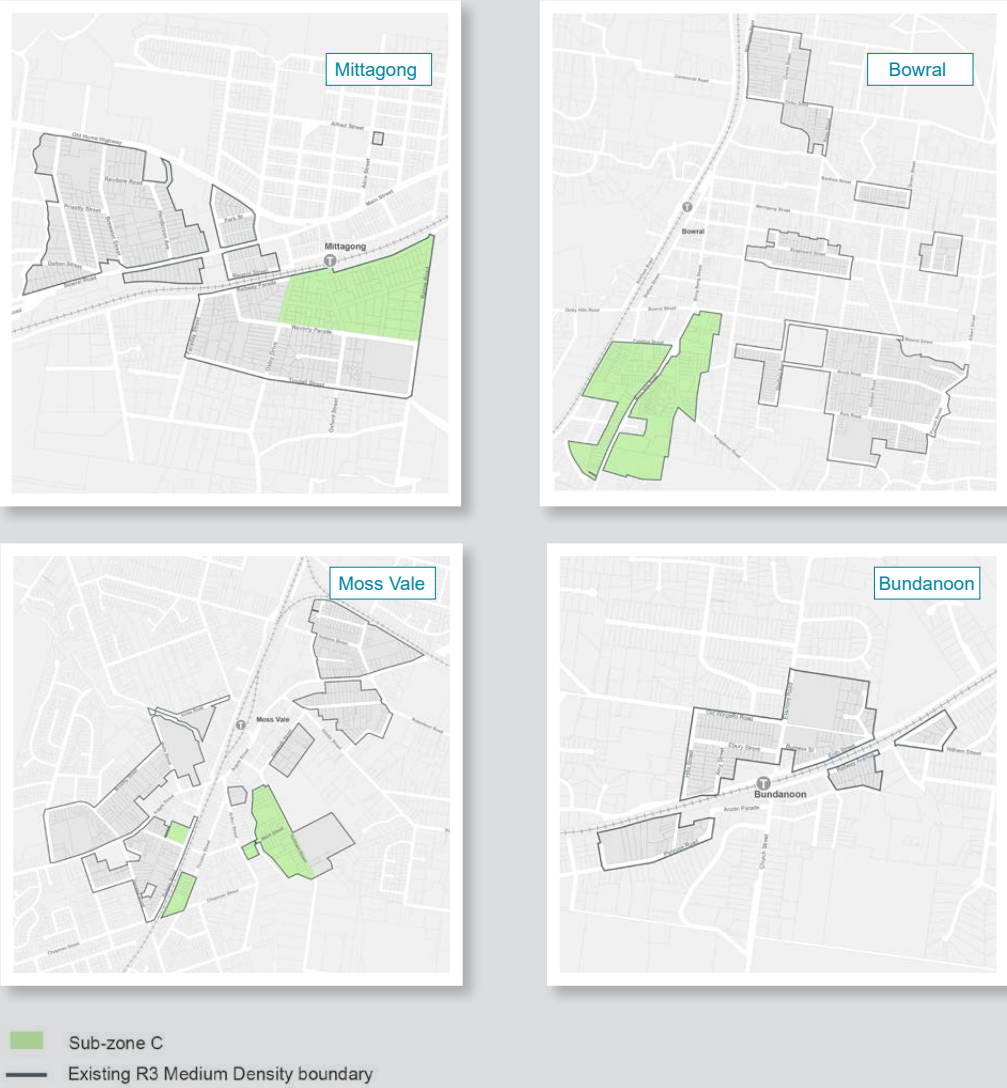


Figure 69 SGL suggested amended Sub-zone C locations

## 04 DCP Recommendations

### Sub-zone C Key Controls

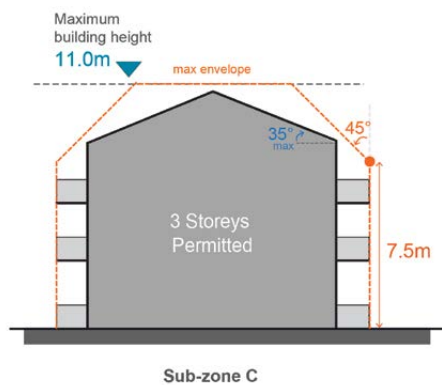


Figure 70 Maximum building envelope, Sub-zone C

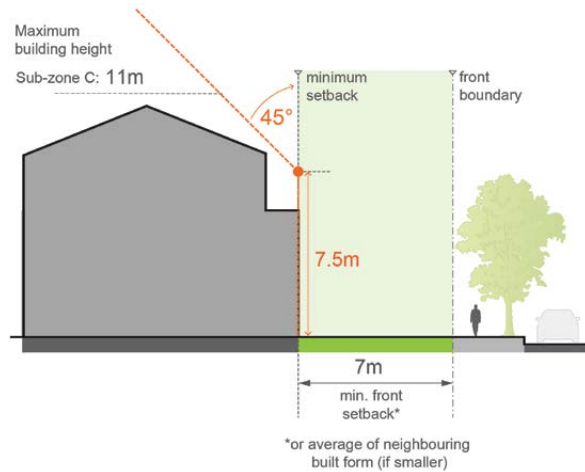


Figure 71 Minimum front setback, Sub-zone C

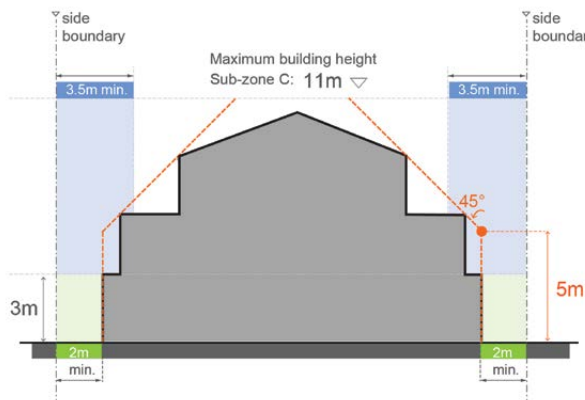


Figure 72 Minimum side setbacks, Sub-zone C

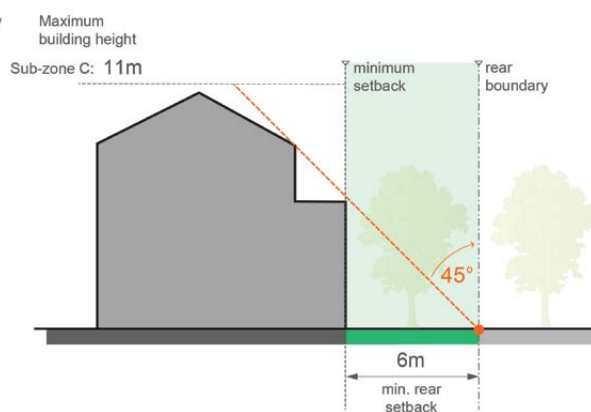


Figure 73 Minimum rear setback, Sub-zone C



Appendix A  
**Planning Controls**

- A-1 Specific LEP & DCP Provisions
- A-2 Wingecarribee DCP 2010
- A-3 Low Rise Housing Diversity Guide
- A-4 SEPP 65 and the Apartment Design Guide



## A Planning Controls

### A-1 Specific LEP & DCP Provisions

#### Mittagong

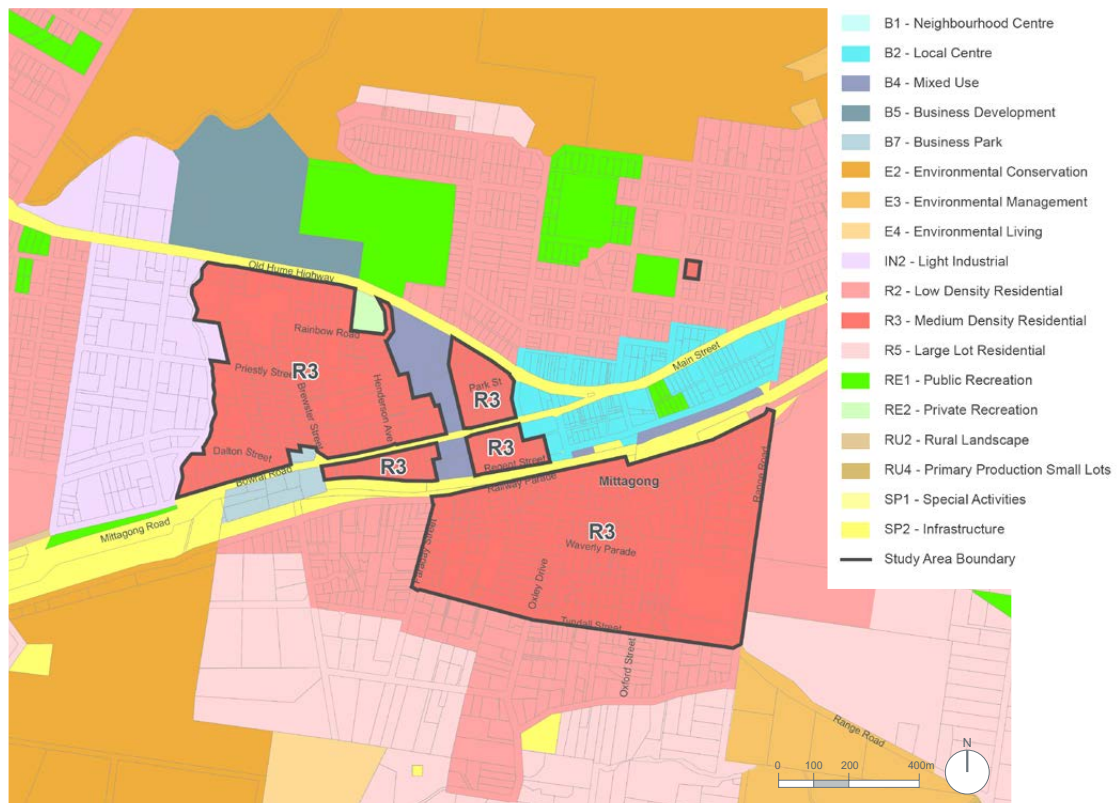


Figure 74 Mittagong Land Zone Map (Wingecarribee Local Environmental Plan 2010)

#### Land Zone

There are approximately 505 lots zoned R2 Medium Density Residential that are distributed on either side of the railway line. Two isolated lots zoned R3 Medium Density Zone are located on the corner of Alice and Alfred Street.

The objectives of this zone are:

- To provide for the housing needs of the community within a medium density residential environment.
- To provide a variety of housing types within a medium density residential environment.

- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

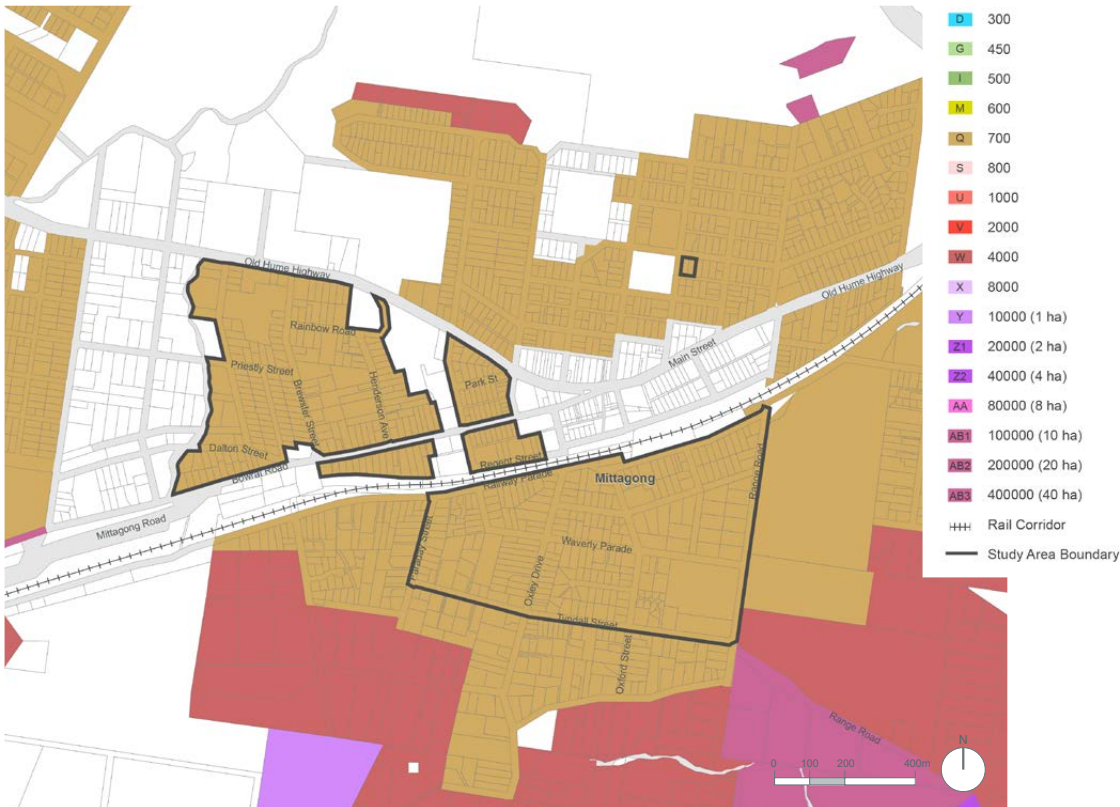
Residential development permitted with consent under this zone include attached dwellings, boarding houses, group homes, multi dwelling housing, and seniors housing. Development of dwelling houses, dual occupancies, semi-detached dwellings and residential flat buildings is not explicitly prohibited.

Surrounding land zones include B4 Mixed Use, R2 Low Density Residential, IN2 Light Industrial and B2 Local Centre.

A Planning Controls

A-1 Specific LEP & DCP Provisions

Mittagong



Minimum Lot Size

Minimum lot size is established by the LEP and relates to the resultant size of a lot after subdivision. The objectives of this control seek to ensure that development is consistent with the desired future character of the neighbourhood, lots have a minimum size to retain or enhance amenity by providing useable areas for building and landscaping and identifies locations that are suitable for increased development density.

All lots zoned R3 Medium Density Residential within the study area have a minimum lot size of 700m<sup>2</sup>. For dual occupancy development within the R3 zone, a minimum area of 1,000 m<sup>2</sup> is required.

A Planning Controls

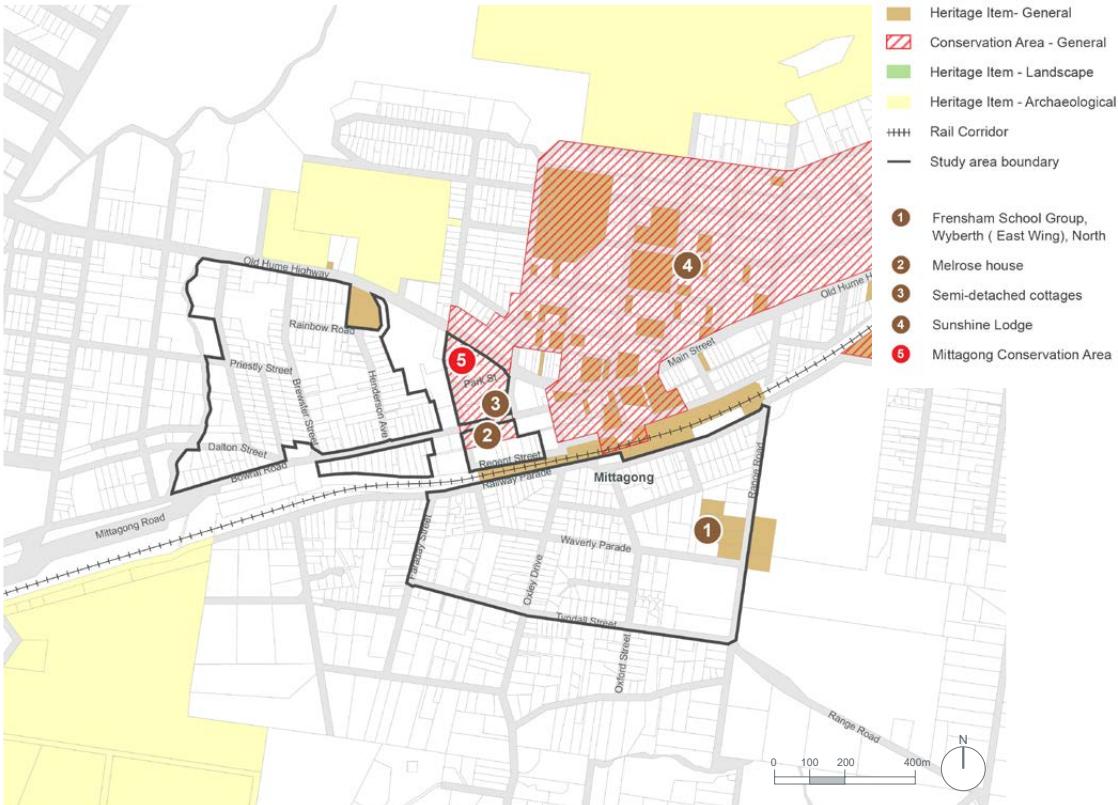


Figure 76 Mittagong Heritage Map (Wingecarribee Local Environmental Plan 2010)

Heritage

A number of sites within the R3 Medium Density Residential zone have been identified as heritage items. This includes the Frensham Girls School located south of the railway line, and a number of cottages located along Bowral Road.

A few of the sites along Park Street and Bowral Road are part of the Mittagong Conservation Area.

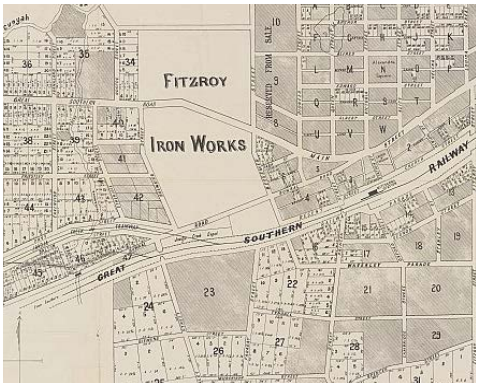


Figure 77 Map of Mittagong in 1891 (Mittagong Real Estate Leaflet)



## **A** Planning Controls

### A-1 Specific LEP & DCP Provisions

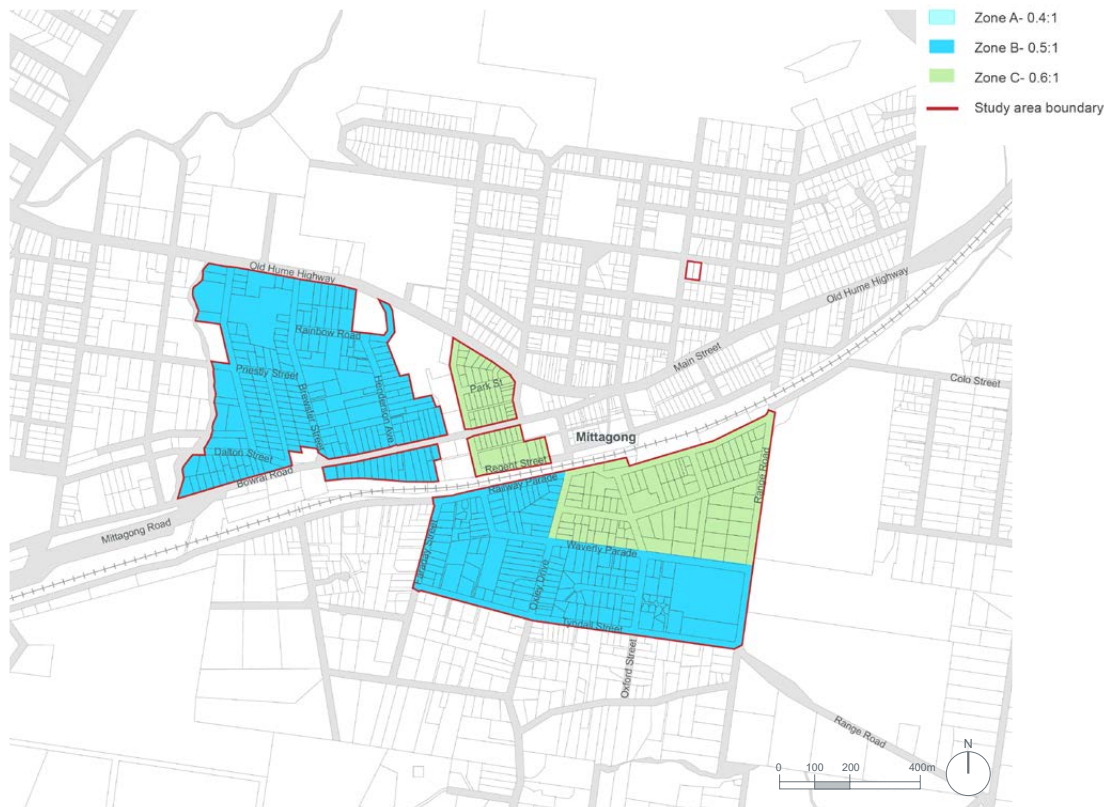


Figure 78 Mittagong FSR Sub-zone map (Wingecarribee Development Control Plan)

#### FSR Sub-zones - DCP

Density regulations are expressed as a floor space ratio (FSR). The objectives for density controls within Mittagong aim to ensure:

- the site is developed to provide adequate amenity for future residents.
- the development maintains the amenity of existing residents.
- the impacts upon existing streetscapes of the local area are minimised.

Under the current DCP, all land zoned R3 Medium Density Residential has been divided into three sub-zones – A, B and C with FSRs of 0.4, 0.5 and 0.6 respectively.

In Mittagong, only Sub-zones B and C apply. Sub-zone C is the only location where residential flat buildings will be considered by Council.



## A Planning Controls

### Bowral

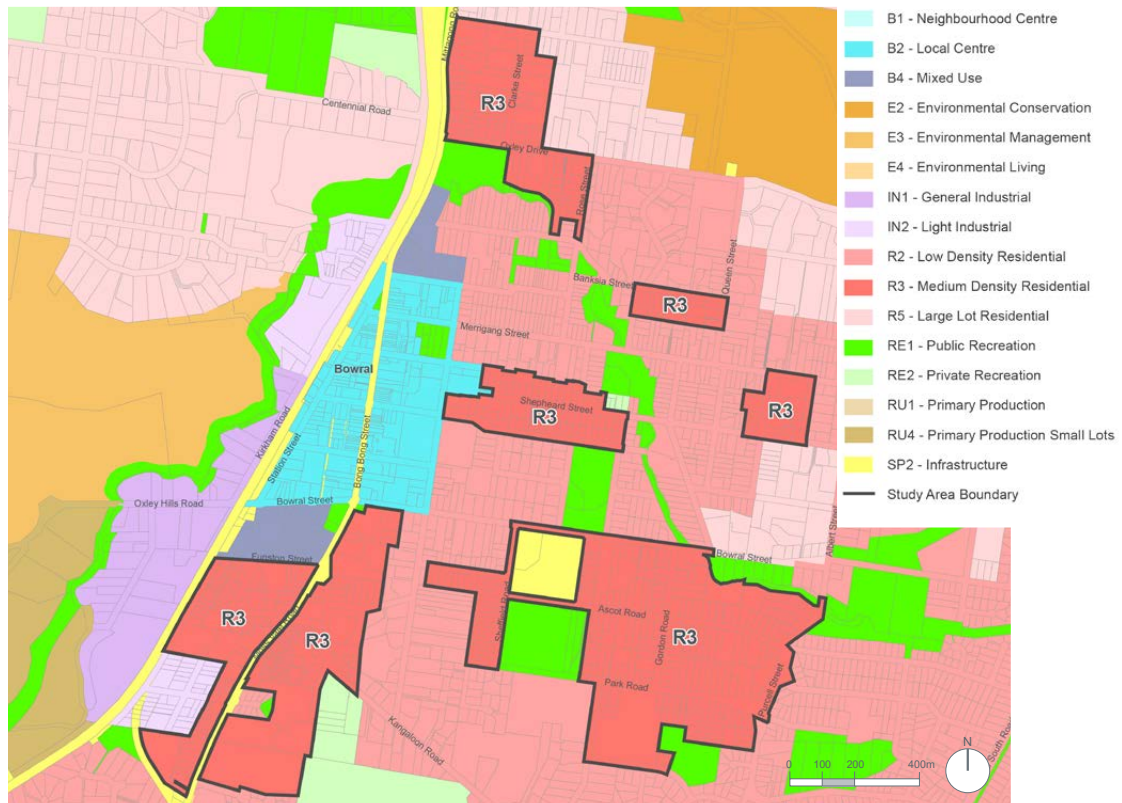


Figure 79 Bowral Land Zone Map (Wingecarribee Local Environmental Plan 2010)

#### Land Zone

There are approximately 545 lots zoned R2 Medium Density Residential that are located in fragments east of the railway line. The entrance to the town via Moss Vale Road and Mittagong Road is marked by two expanses of medium density zoned land.

The objectives of this zone are:

- To provide for the housing needs of the community within a medium density residential environment.
- To provide a variety of housing types within a medium density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

Residential development permitted with consent under this zone include attached dwellings, boarding houses, group homes, multi dwelling housing, and seniors housing. Development of dwelling houses, dual occupancies, semi-detached dwellings and residential flat buildings is not explicitly prohibited.

Surrounding land zones include, R2 Low Density Residential, R5 Large Lot Residential, B4 Mixed Use and B2 Local Centre.

## A Planning Controls

### A-1 Specific LEP & DCP Provisions

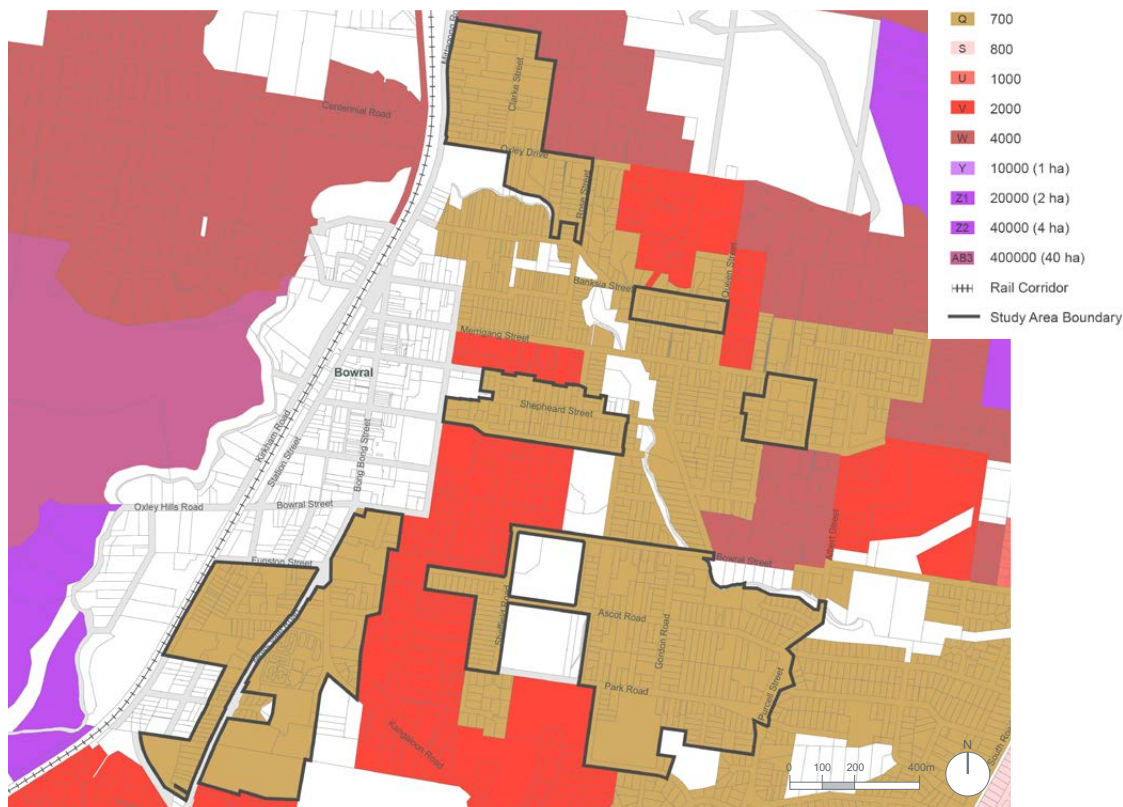


Figure 80 Bowral Minimum Lot Size Map (Wingecarribee Local Environmental Plan 2010)

#### Minimum Lot Size

Minimum lot size is established by the LEP and relates to the resultant size of a lot after subdivision. The objectives of this control seek to ensure that development is consistent with the desired future character of the neighbourhood, lots have a minimum size to retain or enhance amenity by providing useable areas for building and landscaping and identifies locations that are suitable for increased development density.

All lots zoned R3 Medium Density Residential within the study area have a minimum lot size of 700m<sup>2</sup>. For dual occupancy development within the R3 zone, a minimum area of 1,000 m<sup>2</sup> is required.

A Planning Controls

Bowral

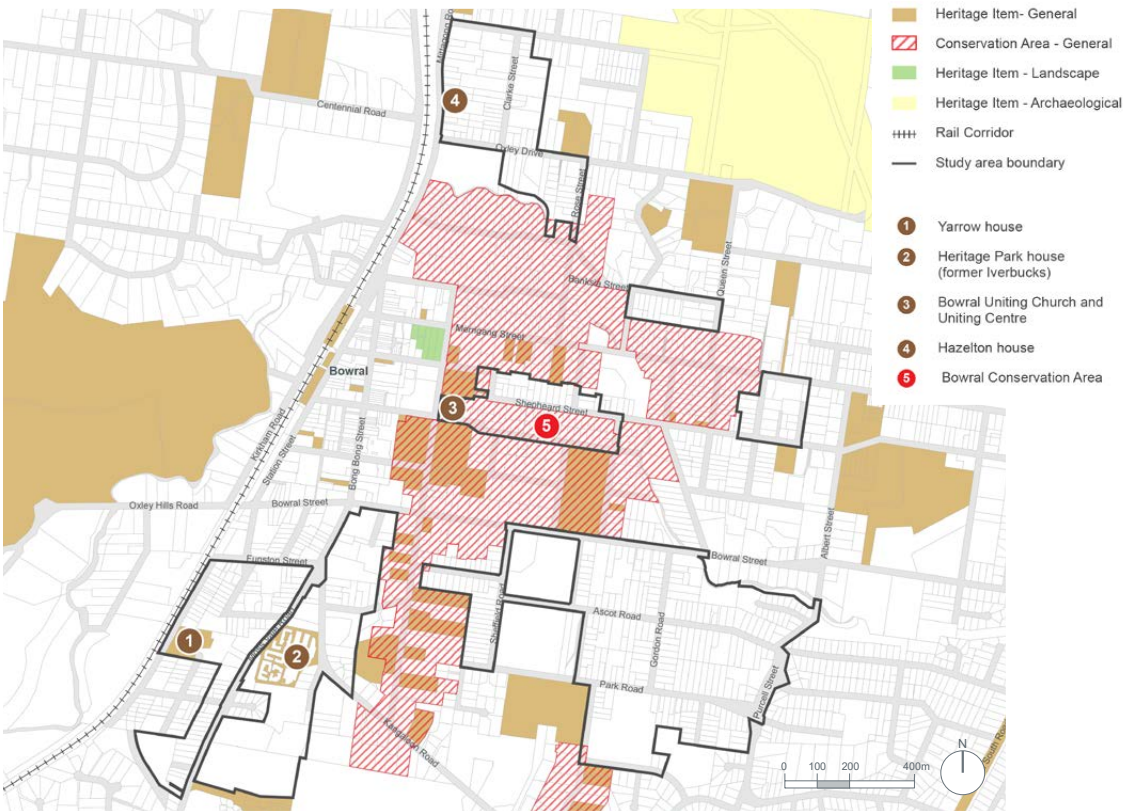


Figure 81 Bowral Heritage Map (Wingecarribee Local Environmental Plan 2010)

Heritage

A number of sites within the R3 Medium Density Residential zone have been identified as heritage items. This includes the Bowral Uniting Church and Uniting Centre and a number of houses throughout the centre.

A few of the medium density sites along Shepherd Street are part of the Bowral Conservation Area.



Figure 82 The significance of Bowral Streetscape as identified in the Wingecarribee heritage study 1991



## **A** Planning Controls

### A-1 Specific LEP & DCP Provisions

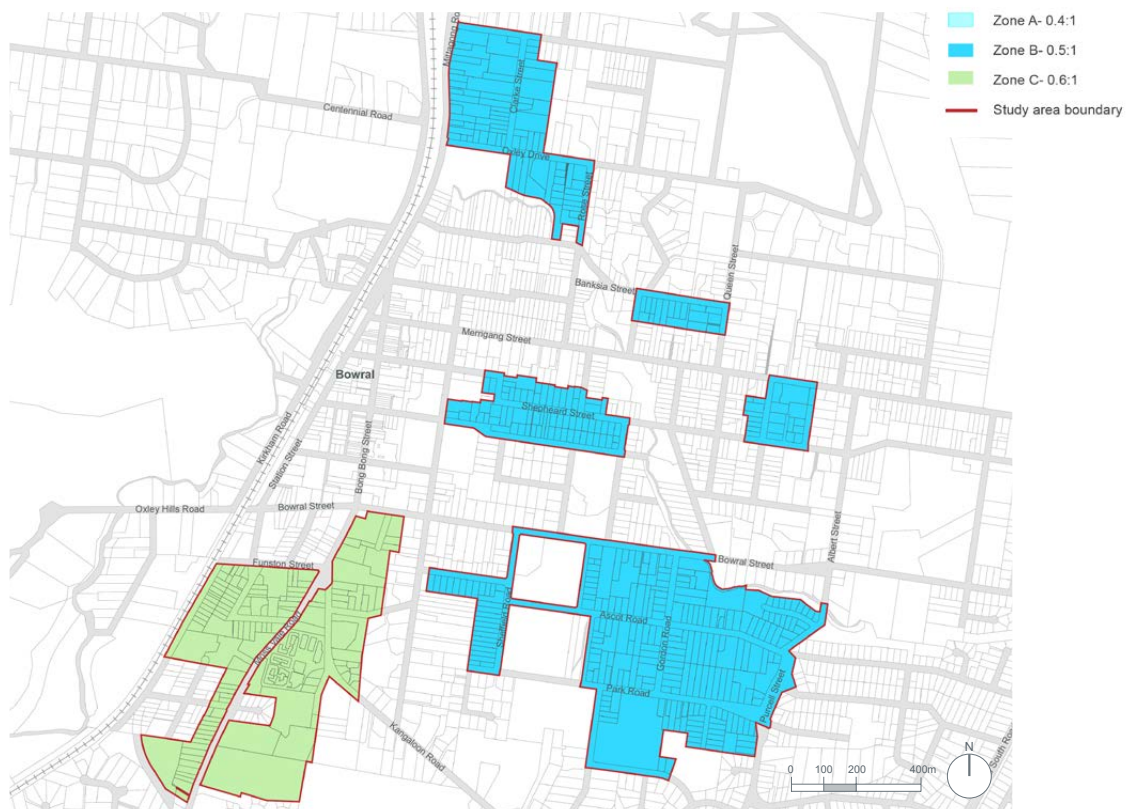


Figure 83 Bowral FSR Sub-zone map (*Wingecarribee Development Control Plan*)

#### FSR Sub-zones - DCP

Density regulations are expressed as a floor space ratio (FSR). The objectives for density controls within Bowral aim to ensure:

- the site is developed to provide adequate amenity for future residents.
- the development maintains the amenity of existing residents.
- the impacts upon existing streetscapes of the local area are minimised.

Under the current DCP, all land zoned R3 Medium Density Residential has been divided into three sub-zones – A, B and C with FSRs of 0.4, 0.5 and 0.6 respectively.

In Bowral, only Sub-zones B and C apply. Sub-zone C is the only location where residential flat buildings will be considered by Council.



## A Planning Controls

### Moss Vale

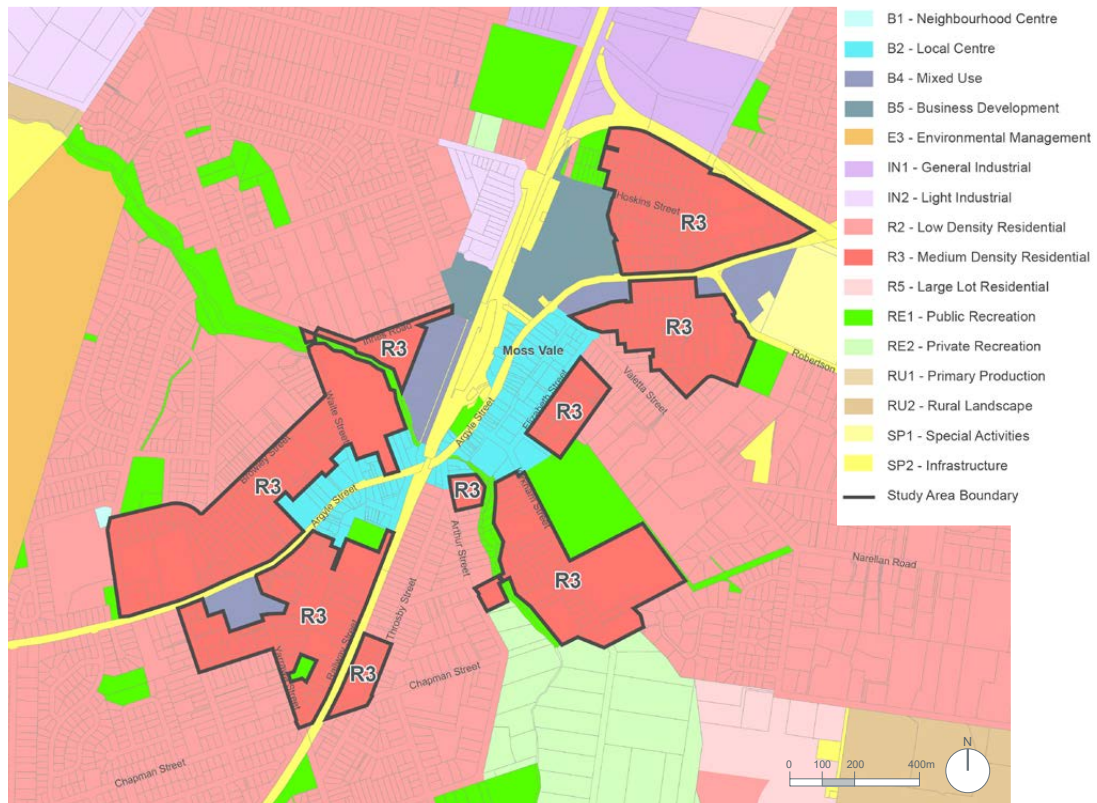


Figure 84 Moss Vale Land Zone Map (Wingecarribee Local Environmental Plan 2010)

#### Land Zone

There are approximately 420 lots zoned R2 Medium Density Residential that are located on either side of the railway line. The entrance to the town north and south via Argyle Street is marked by two large expanses of medium density zoned land.

The objectives of this zone are:

- To provide for the housing needs of the community within a medium density residential environment.
- To provide a variety of housing types within a medium density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

Residential development permitted with consent under this zone include attached dwellings, boarding houses, group homes, multi dwelling housing, and seniors housing. Development of dwelling houses, dual occupancies, semi-detached dwellings and residential flat buildings is not explicitly prohibited.

Surrounding land zones include, R2 Low Density Residential, B4 Mixed Use and B2 Local Centre.

A Planning Controls

A-1 Specific LEP & DCP Provisions

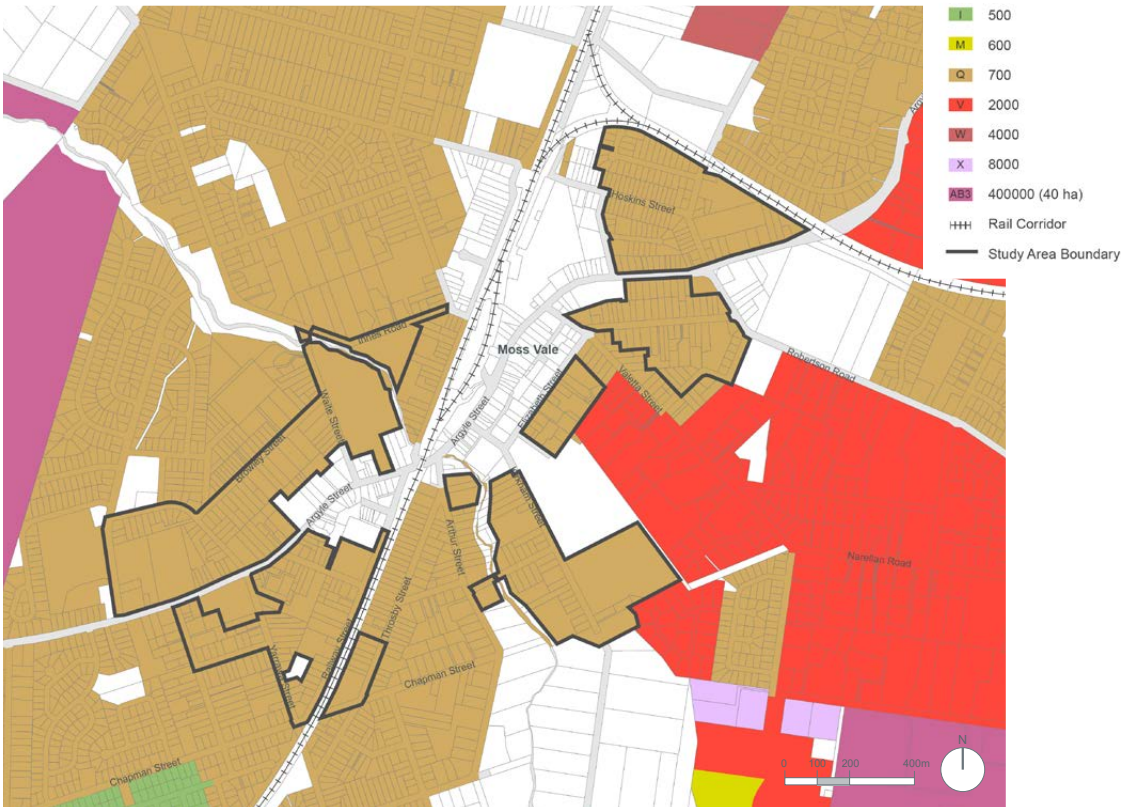


Figure 85 Moss Vale Minimum Lot Size Map (Wingecarribee Local Environmental Plan 2010)

Minimum Lot Size

Minimum lot size is established by the LEP and relates to the resultant size of a lot after subdivision. The objectives of this control seek to ensure that development is consistent with the desired future character of the neighbourhood, lots have a minimum size to retain or enhance amenity by providing useable areas for building and landscaping and identifies locations that are suitable for increased development density.

All lots zoned R3 Medium Density Residential within the study area have a minimum lot size of 700m<sup>2</sup>. For dual occupancy development within the R3 zone, a minimum area of 1,000 m<sup>2</sup> is required.

A Planning Controls

Moss Vale

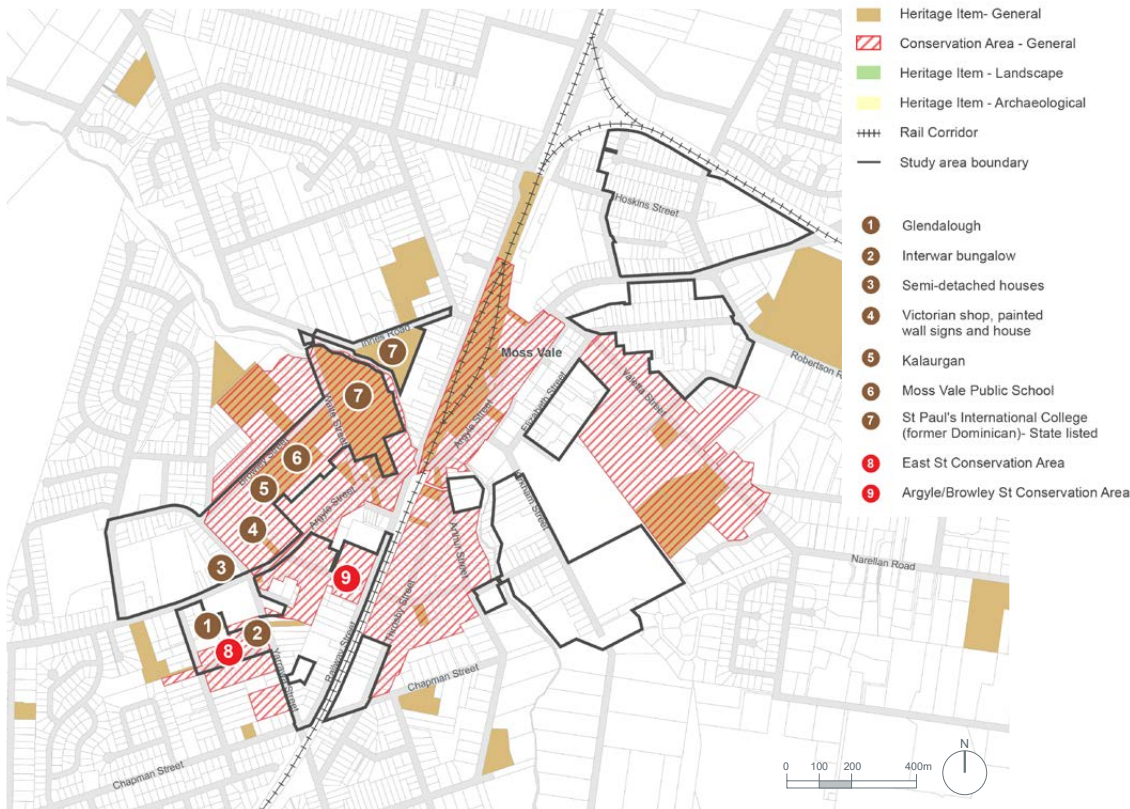


Figure 86 Moss Vale Heritage Map (Wingecarribee Local Environmental Plan 2010)

Heritage

A number of sites within the R3 Medium Density Residential zone have been identified as heritage items. This includes St Paul's International College, which is both state and local heritage listed, Moss Vale Public School and a number of houses located west of the railway line throughout the centre.

Part of the medium density zone, located west of the railway line, also fall within two Heritage Conservation Areas, namely, East St Conservation Area and Argyle/Browley St Conservation Area.



Figure 87 Heritage Listed Glendalough House  
Source: First National Moss Vale



## **A** Planning Controls

### A-1 Specific LEP & DCP Provisions

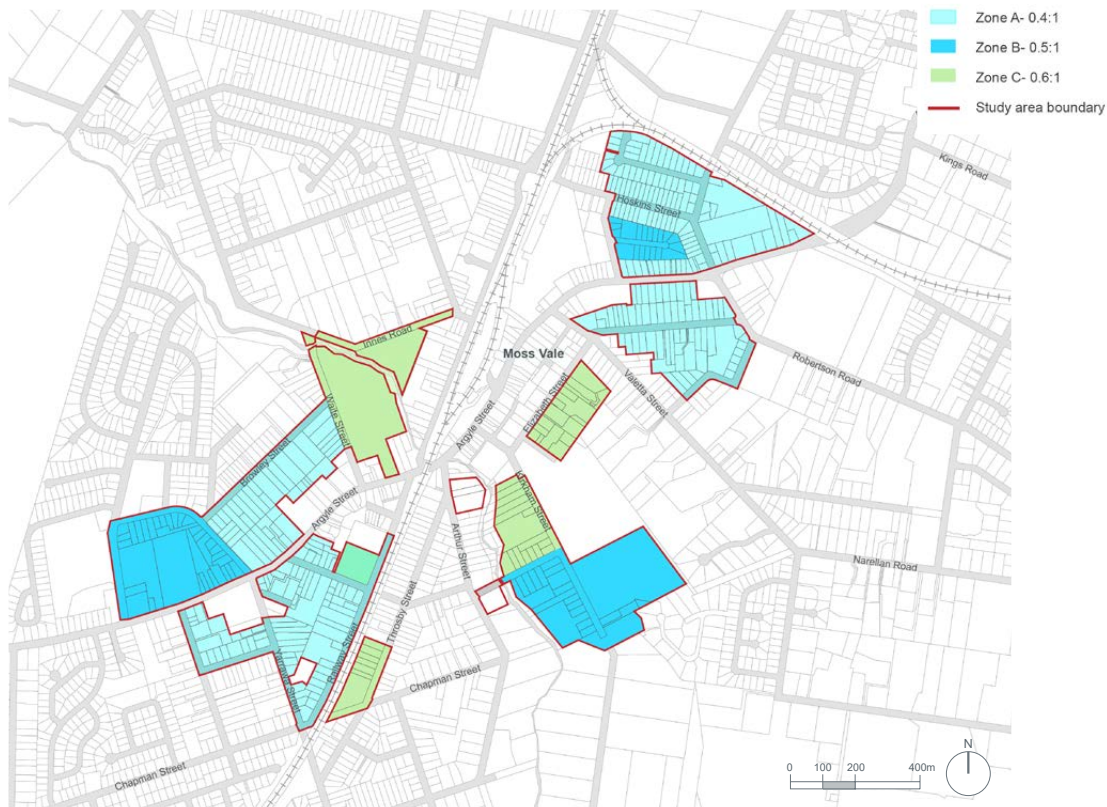


Figure 88 Moss Vale FSR Sub-zone map (*Wingecarribee Development Control Plan*)

#### FSR Sub-zones - DCP

Density regulations are expressed as a floor space ratio (FSR). The objectives for density controls within Moss Vale aim to ensure:

- the site is developed to provide adequate amenity for future residents.
- the development maintains the amenity of existing residents.
- the impacts upon existing streetscapes of the local area are minimised.

Under the current DCP, all land zoned R3 Medium Density Residential has been divided into three sub-zones – A, B and C with FSRs of 0.4, 0.5 and 0.6 respectively.

In Moss Vale, Sub-zones A, B and C apply. Sub-zone C is the only location where residential flat buildings will be considered by Council. The site located at the corner of Spring Street and Railway Street is currently within the FSR Sub-zones of A and C.



## A Planning Controls

### Bundanoon

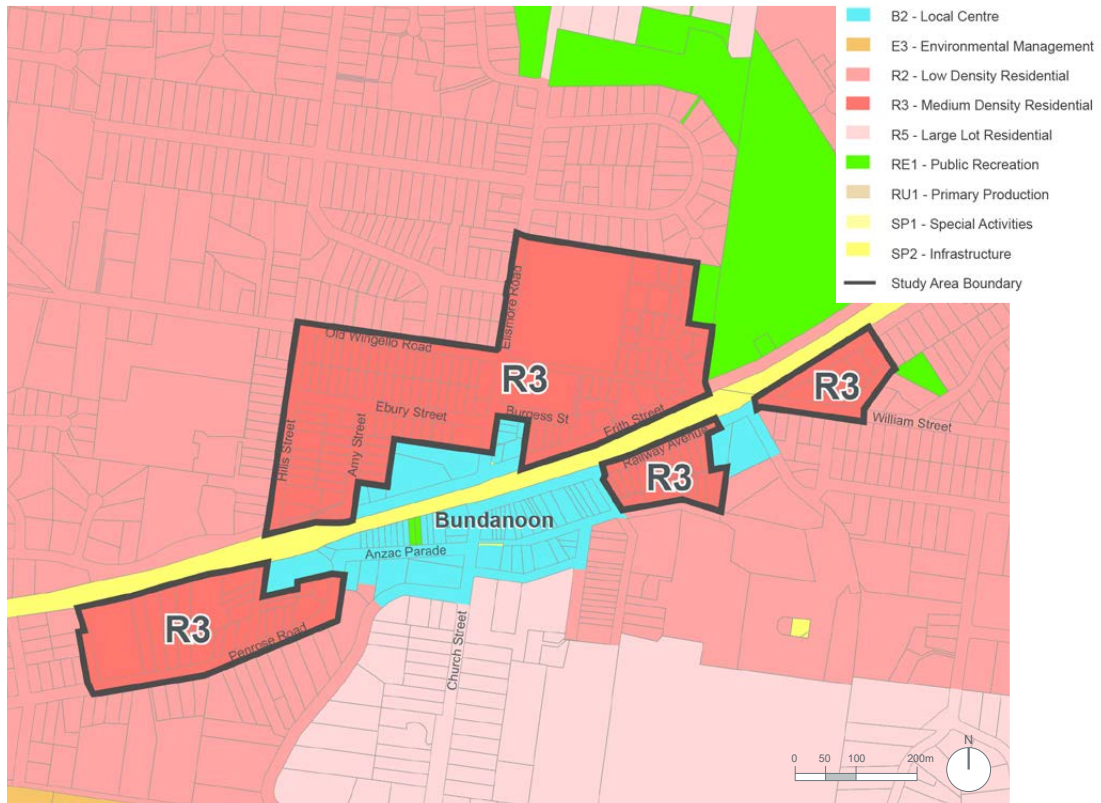


Figure 89 Bundanoon Land Zone Map (Wingecarribee Local Environmental Plan 2010)

#### Land Zone

There are approximately 170 lots zoned R2 Medium Density Residential that are distributed on either side of the railway line.

The objectives of this zone are:

- To provide for the housing needs of the community within a medium density residential environment.
- To provide a variety of housing types within a medium density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

Residential development permitted with consent under this zone include attached dwellings, boarding houses, group homes, multi dwelling housing, and seniors housing. Development of dwelling houses, dual occupancies, semi-detached dwellings and residential flat buildings is not explicitly prohibited.

Surrounding land zones include R2 Low Density Residential, and B2 Local Centre.

A Planning Controls

A-1 Specific LEP & DCP Provisions

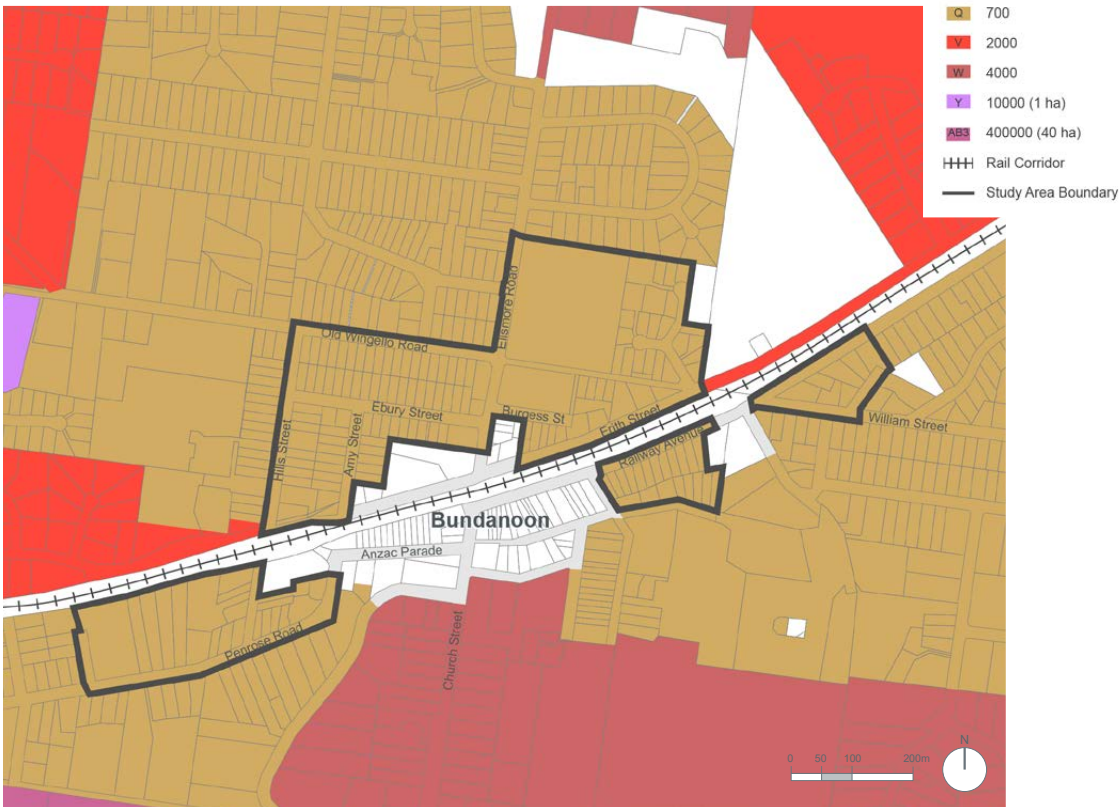


Figure 90 Bundanoon Minimum Lot Size Map (Wingecarribee Local Environmental Plan 2010)

Minimum Lot Size

Minimum lot size is established by the LEP and relates to the resultant size of a lot after subdivision. The objectives of this control seek to ensure that development is consistent with the desired future character of the neighbourhood, lots have a minimum size to retain or enhance amenity by providing useable areas for building and landscaping and identifies locations that are suitable for increased development density.

All lots zoned R3 Medium Density Residential within the study area have a minimum lot size of 700m<sup>2</sup>. For dual occupancy development within the R3 zone, a minimum area of 1,000 m<sup>2</sup> is required.

A Planning Controls

Bundanoon

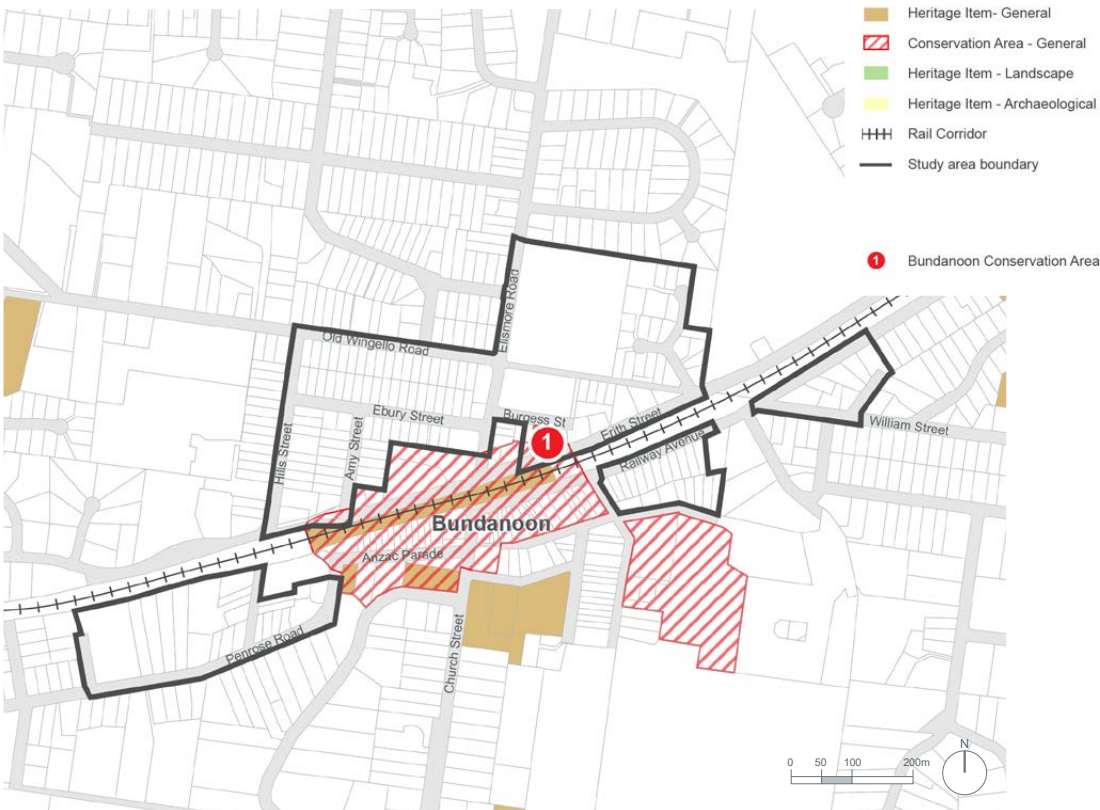


Figure 91 Bundanoon Heritage Map (*Wingecarribee Local Environmental Plan 2010*)

Heritage

There are no heritage items identified within the study area. A few sites zoned R3 Medium Density Residential along Erith Street are located within the Bundanoon Conservation Area.



Figure 92 Development in Bundanoon parallel to the Railway Line and part of the HCA as identified in the *Wingecarribee heritage study 1991*

## **A** Planning Controls

### A-1 Specific LEP & DCP Provisions

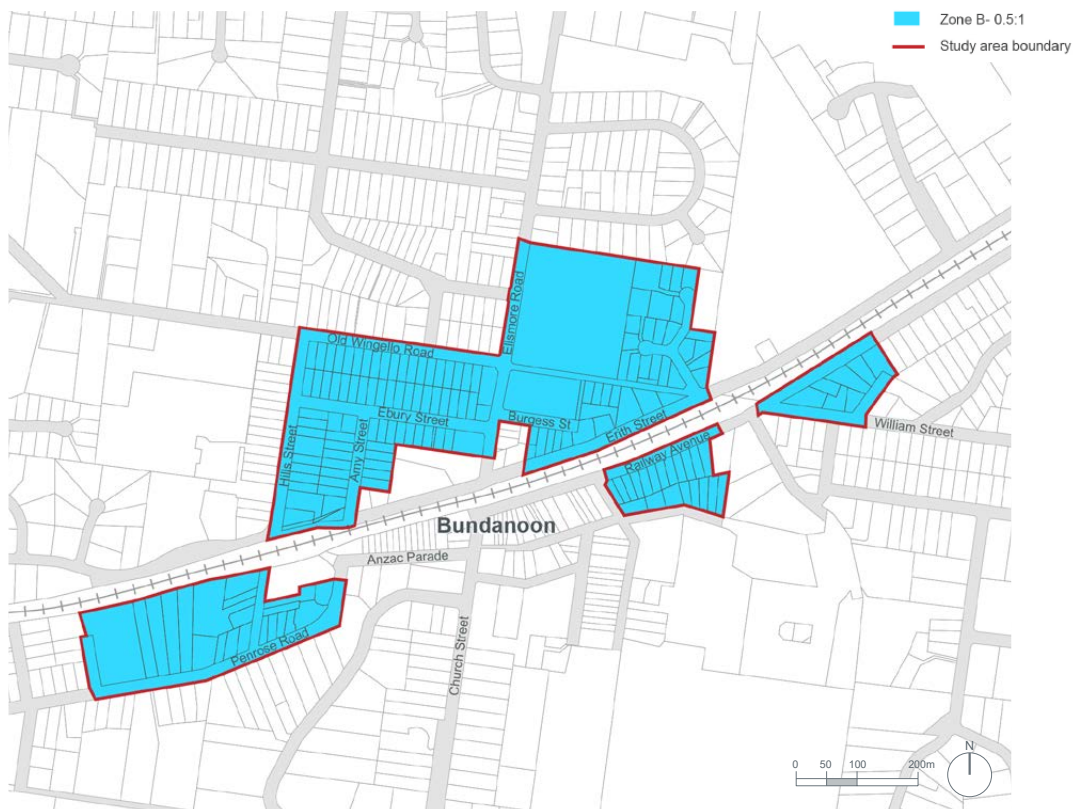


Figure 93 Bundanoon FSR Sub-zone map (Wingecarribee Development Control Plan)

#### FSR Sub-zones - DCP

Density regulations are expressed as a floor space ratio (FSR). The objectives for density controls within Bundanoon aim to ensure:

- the site is developed to provide adequate amenity for future residents.
- the development maintains the amenity of existing residents.
- the impacts upon existing streetscapes of the local area are minimised.

Under the current DCP, all land zoned R3 Medium Density Residential has been divided into three sub-zones – A, B and C with FSRs of 0.4, 0.5 and 0.6 respectively.

In Bundanoon, only Sub-zone B applies. No residential flat buildings allowable under Sub-zone C are found within Bundanoon.



**A** Planning Controls

**A-2 Wingecarribee DCP 2010**

The Wingecarribee Development Control Plans 2010 (WDCP) provide more detailed provisions for development to achieve the purpose of the Wingecarribee LEP 2010 and identifies general and site specific controls for development within the Shire.

The Council currently has individual DCPs for each of its towns and villages and for specific land use zones. Key policies for medium density development from the most relevant Town Plan DCPs are summarised in the following sections:

In general, the objectives for all residential development within the four towns are to ensure that the residential amenity is maintained and improved, the unique characteristics of the existing residential areas are conserved, and all new residential development is sustainable and sympathetic to the existing or desired streetscape character. In addition, all development are to achieve the residential diversity objectives:

“(a) Promote a mix of housing types to increase residential choice within the town, particularly around bus and rail connections.

(b) Encourage appropriate site amalgamation and redevelopment to provide a range of residential opportunities throughout the town.”

The controls and guidelines for medium density development apply to multi dwelling housing and residential flat buildings within the R3 Medium Density Residential Zone.

**Minimum Frontage Requirements**

All multi dwelling housing are to have a minimum of 25 metres of site frontage to a public street or other appropriate public place. Battle- axe blocks may have a street frontage less than 25m, provided the width of block at the end of the access handle amounts to 25m and is parallel to the street.

**Site planning and street orientation**

The maximum length of building is 25m and the proportion of dwellings located beyond 50m from the public street is limited. Dwellings in a medium density development, located closest to the street are required to maintain the same dwelling orientation as in the existing street pattern.

**Height**

The maximum building height controls for residential zoned land across the Shire are dictated by the WDCP and referred to in terms of the maximum number of ‘storeys’. For single (1) storey development, the height is generally six (6) metres. For two (2) storey development, the height is nine (9) metres. For three (3) storey development, it is twelve (12) metres.

Applies To:	Requirement (max.)
Residential Flat Buildings	3 storeys (third floor within roofline)
Other medium density housing	2 storeys
All medium density housing in HCAs	1 storey (additional spaces allowed within roof form)

## **A** Planning Controls

### A-2 Specific LEP & DCP Provisions

#### **Building design**

The development is required to be designed to provide attractive on-site visual variation by use of staggered building setbacks, variation of roof lines, curved driveways and access roads, landscaping and the like.

Buildings are to ensure that courtyard areas of the same and adjoining dwellings receive direct sunlight during the major part of daylight hours. Living areas and private open space should be located to the north and west to maximise solar access. Habitable rooms are to be screened and separated from communal areas, neighbouring windows and private open spaces of adjoining development.

Balconies can encroach into the setback for a maximum of 2 metres or 25 per cent, whichever is the lesser. No part of any means of enclosure of a balcony shall exceed a height of 1.2 metres.

#### **Setbacks**

Minimum setback distances measured from the outermost projection of buildings (excluding balconies) to the site boundary are as follows:

Applies To:	Front	Side	Rear
Development with relevant adjacent setbacks	Determined by the difference between the setbacks of adjacent dwellings: If distance is equal or <2m: the front setback of new dwellings can be set within the established range If distance is >2m: the front setback of new dwellings is to be the average of the two existing setbacks.	Generally consistent with the immediate adjacent context.  Min. requirements for RFBs is 1.5 metres + height of the building in metres.  Min. requirements for Multi-dwelling housing: <ul style="list-style-type: none"> <li>• 2m side setback for buildings upto 3m.</li> <li>• 3.5m setback for buildings higher than 3m.</li> </ul>	Generally consistent with the immediate adjacent context.
RFBs where adjacent setbacks are not relevant	9m	Satisfies min. requirement + Based on merit	Based on Merit
Other multi dwelling housing where adjacent setbacks are not relevant	8m	Satisfies min. requirement + Based on merit	Based on Merit
Corner blocks	Generally ½ of primary setback	Same as above	Same as above

#### **Dwelling orientation**

The dwelling orientation should maximise sunlight and ensure that the living area and 50% of the primary private open space of the new dwelling and the adjacent dwellings receives a minimum of 3 hours of direct sunlight on June 21st.

#### **Mix of Dwelling**

Any development with more than 8 dwellings should provide a mix of dwellings ranging in number and size of bedrooms.

#### **Privacy**

Where windows are located less than 9m from adjoining dwellings, they:

- Should be offset from the edge of windows of adjoining dwellings by a minimum of 0.5m; or
- Should have a sill height of minimum 1.7m above the floor or have fixed obscure glazing in any part of the window less than 1.7 metres above the floor.

A Planning Controls

Landscaped Open Space

The total area of Open Space includes paths, patios and soft landscaped areas. Areas consisting of building footprint, driveways, car parking, and garbage storage areas and the like, are not considered as Open Space.

A minimum of 50% of the total site area is to be provided as Landscaped Open Space for all medium density housing.

All primary private open space should be directly accessible from the primary living area. Minimum requirements for Private Open Spaces:

Applies To:	Minimum area	Minimum dimension
Residential Flat Buildings:	Dwellings on ground floor: 30m <sup>2</sup>	Dwellings on ground floor: 4m
	Dwellings above ground floor: 15m <sup>2</sup>	Dwellings above ground floor: 3m
Other medium density housing	50m <sup>2</sup>	5m

Driveways are to be located at a minimum of 1m from the side boundary. The driveway-vehicular crossover should be located at a minimum of 3m from any street tree.

All boundaries having a frontage to a public road, public place or public open space; and parts of the site which remain undeveloped, are required to have appropriate treatment. Treatment methods may include the planting of trees, shrubs, plants and lawns (the species of which may be specified by Council), the erection of fences, walls and screens, or the exclusion thereof.

Street trees of compatible existing species are to be provided on the footpath or verge area where none currently exists.

Materials and colours

In general, all buildings should incorporate brick, brick veneer or masonry construction. Special feature materials will be allowed for a proportion of the external cladding. Use of galvanised steel is subject to specific Council consent. The use of zincalume in buildings is prohibited.

Driveway and verge crossing materials are to be consistent with current streetscape, preferably of compacted earth, gravel, stone cobble or plain concrete surface. Strong textures and bright colours, including stamped concrete, shall not be permitted on driveways or verge crossings.

Parking, Garaging, Driveways and Common Paved Areas

Requirement for off street parking:

Applies To:	Requirement (min/max.)
1-2 bedroom dwellings	1 space
3+ bedroom dwellings	2 spaces
Visitor Parking	1 space per 3 dwellings

At least one parking space per dwelling shall be a covered parking space. Where garages form part of the dwelling, they shall be located at least 1.2 metres behind the main building façade and should not exceed more than 40% of the dwelling frontage.

Double garages to the street frontage shall be avoided in preference to tandem parking or single garage and car port options.

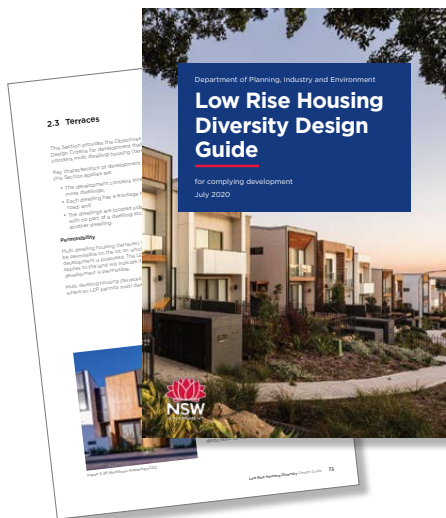
The width of driveways will be limited to 25% of the frontage to a public street.

Adaptable Housing

Provision of Adaptable housing at a ratio of 1:3 dwellings for all Medium density housing is required and is to be constructed to a minimum standard of Class C level as stipulated in Australian Standard 4299 – Adaptable Housing.

## **A** Planning Controls

### **A-3 Low Rise Housing Diversity Guide**



Cover and extract of the recently released draft Medium Density Guide prepared by DP&I

The Low Rise Housing Diversity Code (the Code) forms part of the State Environmental Planning Policy (Exempt and Complying Development Code) 2008 and permits a range of medium density housing typologies including Dual Occupancies, Manor Houses and Terraces, to be achieved through a complying development certificate process.

It allows medium density typologies to be built as 'complying development' if they are permissible with consent in the land use zone under the LEP. Complying development establishes an 'as of right' development potential – but only if all standards are met. However, aspects of a development application can be assessed on their merits and may not comply with all controls as set out in a DCP.

Complying development is not permitted on environmentally sensitive land, in heritage conservation areas or on the same land as a heritage item. On this basis complying development is restricted in application compared to the development potential under the DA pathway – mainly in relation to heritage conservation areas.

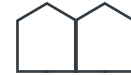
The next section compares the controls for three typologies: dual occupancy, manor house and terraces; permissible within the R3 Medium Density Residential Zone and complying under the Low Rise Housing Diversity Code.

As detailed in the following sections, the Code permits medium density typologies, particularly manor houses and terraces, that are not restricted by the minimum lot width, that would be larger than that allowable under the current controls in the Wingecarribee DCP and would be required to provide lesser landscaped areas. This could potentially alter the character of the Shire.

From 1 July 2020 the Code went into operation across NSW with no further deferrals supported by the State Government. The application of the Code in Wingecarribee has the potential to influence the supply of dwellings by increasing the feasibility of developing multi dwelling housing, particularly terraces, in the region.

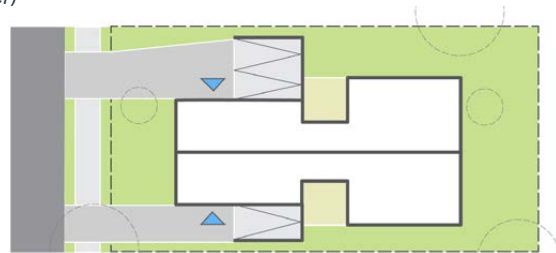


## A Planning Controls



### Dual Occupancy (*Detached, attached, mid-block, corner*)

Dual occupancies locate two dwellings on one lot which can be arranged side by side facing the same street frontage, behind each other with the rear dwelling accessed by a driveway, or located on corner lots where (ideally) one dwelling addresses the primary road and the other the secondary road.



Attached asymmetrical dual occupancy side by side with both dwellings accessed from the primary street

Characteristics	DCP	LRHDC																
Max building height	9m (2 storeys)	Maximum height 8.5m (2 storeys)																
Minimum lot size	1000m² minimum subdivision lot size	As per the Environmental Protection Instrument (EPI), if not specified 400m²																
Minimum lot width	25m	15m/ 12m (where car parking is at the rear of lot)																
Max FSR	0.5:1 / 100m² max floor area)	<table><tr><td>Lot Size</td><td>Max GFA</td></tr><tr><td>400- 2000m²</td><td>25% of lot area + 300m²</td></tr><tr><td>&gt;2000m²</td><td>800m²</td></tr></table>	Lot Size	Max GFA	400- 2000m²	25% of lot area + 300m²	>2000m²	800m²										
Lot Size	Max GFA																	
400- 2000m²	25% of lot area + 300m²																	
>2000m²	800m²																	
Min landscaped area	50% of site area	50% of the parent lot area minus 100m²																
Min front setback (Primary road)	Set within the difference/ average of adjacent front setbacks/ 8m	Average of the two closest dwellings within 40m																
Min front setback (Secondary road)	50% of primary setback	<table><tr><td>Lot Size</td><td>Min. Setback</td></tr><tr><td>400- 900m²</td><td>2m</td></tr><tr><td>&gt;900-1500m²</td><td>3m</td></tr><tr><td>&gt;1500m²</td><td>5m</td></tr></table>	Lot Size	Min. Setback	400- 900m²	2m	>900-1500m²	3m	>1500m²	5m								
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Min rear setback	Consistent with the immediate adjacent context/ Based on merit	<table><tr><td>Lot Size</td><td>GF Min. Setback</td><td>2nd Floor Min. Setback</td></tr><tr><td>600- 900m²</td><td>3m</td><td>8m</td></tr><tr><td>&gt;900-1500m²</td><td>5m</td><td>12m</td></tr><tr><td>&gt;1500m²</td><td>10m</td><td>15m</td></tr></table>	Lot Size	GF Min. Setback	2nd Floor Min. Setback	600- 900m²	3m	8m	>900-1500m²	5m	12m	>1500m²	10m	15m				
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Min side setback	Consistent with the immediate adjacent context/ Based on merit/ 2m for height upto ≤3m and 3.5m for height >3m	<table><tr><td>Lot Width</td><td>Building height</td><td>Min side setback</td></tr><tr><td rowspan="2">12- 24m</td><td>GF</td><td>0.9m</td></tr><tr><td>Above GF</td><td>(Height- 4.5) + 4 + 0.9m</td></tr><tr><td rowspan="2">&gt;24- 36m</td><td>GF</td><td>1.5m</td></tr><tr><td>Above GF</td><td>(Height- 4.5) + 4 + 1.5m</td></tr><tr><td>&gt;36m</td><td>0- 8.5m</td><td>2.5m</td></tr></table>	Lot Width	Building height	Min side setback	12- 24m	GF	0.9m	Above GF	(Height- 4.5) + 4 + 0.9m	>24- 36m	GF	1.5m	Above GF	(Height- 4.5) + 4 + 1.5m	>36m	0- 8.5m	2.5m
Lot Width	Building height	Min side setback																
12- 24m	GF	0.9m																
	Above GF	(Height- 4.5) + 4 + 0.9m																
>24- 36m	GF	1.5m																
	Above GF	(Height- 4.5) + 4 + 1.5m																
>36m	0- 8.5m	2.5m																
Parking provision	1 space for upto 2 bedrooms and 2 spaces for 3+ bedrooms.	Min. 1 car parking space per dwelling																
Private open space	50m² per dwelling (min. length of 5m)	16m² per dwelling (min. length of 3m)																

## A Planning Controls



### A-3 Low Rise Housing Diversity Guide

#### Manor Houses

Manor house or multi-plex developments typically contain three to four dwellings integrated into a single or two storey built form. The two storey form can have the appearance of a large detached house that integrates well with the character of existing low density residential areas. This typology was a popular housing form across Sydney in the Art Deco and Interwar periods but recent examples are relatively rare.



Manor House development with a single frontage to the street and on grade car parking to the rear

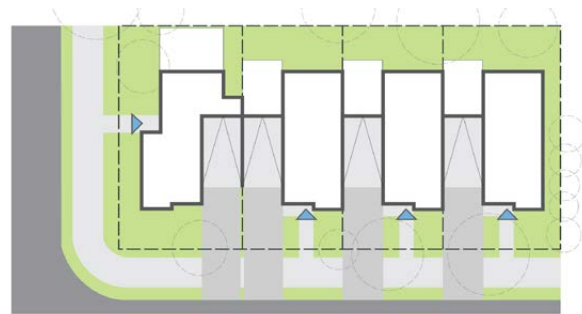
Characteristics	DCP	LRHDC																								
Max building height	9m/ 12m (RFBs- third floor within roofline)	8.5m																								
Minimum lot size	700m² minimum subdivision lot size	As per EPI, if not specified 600m²																								
Minimum lot width	25m	15m																								
Land title	Strata	Strata																								
Max FSR*	0.4:1/ 0.5:1/ 0.6:1	25% of lot area + 150m² to a maximum of 400m²																								
Min landscaped area	50% of site area	50% of the parent lot area minus 100m²																								
Min front setback (Primary road)	Set within the difference/ average of adjacent front setbacks/ 8m / 9m (RFB)	Average of the two closest dwellings within 40m																								
Min front setback (Secondary road)	50% of primary setback	<table><tr><td>Lot Size</td><td>Min. Setback</td></tr><tr><td>400- 1500m²</td><td>3m</td></tr><tr><td>&gt;1500m²</td><td>5m</td></tr></table>	Lot Size	Min. Setback	400- 1500m²	3m	>1500m²	5m																		
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Min side setback	Consistent with the immediate adjacent context/ Based on merit/ 2m for height upto ≤3m and 3.5m for height >3m/ 1.5m + height of building (for RFBs)	1.5m. Setback for development >10m from front building line and height above 4.5m = height - 3m																								
Parking provision	1 space for upto 2 bedrooms and 2 spaces for 3+ bedrooms.	Min. 1 car parking space per dwelling																								
Private open space	<table><tr><td>Dwelling</td><td>Min. area</td><td>Min. length</td></tr><tr><td>RFB- GF units</td><td>30m²</td><td>4m</td></tr><tr><td>RFBs above GF</td><td>15m²</td><td>3m</td></tr><tr><td>MDH</td><td>50m²</td><td>5m</td></tr></table>	Dwelling	Min. area	Min. length	RFB- GF units	30m²	4m	RFBs above GF	15m²	3m	MDH	50m²	5m	<table><tr><td>Dwelling size</td><td>Min. area</td><td>Min. length</td></tr><tr><td>1 Bed/ studio</td><td>8m²</td><td>3m</td></tr><tr><td>2 Bed+</td><td>12m²</td><td>3m</td></tr><tr><td>GF units</td><td>16m²</td><td>3m</td></tr></table>	Dwelling size	Min. area	Min. length	1 Bed/ studio	8m²	3m	2 Bed+	12m²	3m	GF units	16m²	3m
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1 Bed/ studio	8m²	3m																								
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GF units	16m²	3m																								

## A Planning Controls



### Terraces

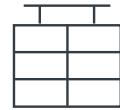
Terraces locate multiple dwellings in a row, generally facing the same street frontage, with shared party walls. Vehicular access can be from the front as per this example, or from the rear, via a laneway or shared driveway.



Front loaded terraces on a corner lot

Characteristics	DCP	LRHDC												
Max building height*	9m (2 storeys)	9m (2 storeys)												
Minimum lot size*	700m² minimum subdivision lot size	As per EPI, if not specified 600m²												
Minimum lot width*	25m	21m												
Land title	Strata	Strata or Torrens												
Max FSR*	0.4:1/ 0.5:1/ 0.6:1	0.8:1												
Min landscaped area*	50% of site area	With subdivision: each resulting lot - 20% of lot area Without subdivision: 20% of the parent lot area of which 36m² allocated to each dwelling												
Min front setback* (Primary road)	Set within the difference/ average of adjacent front setbacks/ 8m	3.5m												
Min front setback* (Secondary road)	50% of primary setback	<table><tr><td>Lot Size</td><td>Min. Setback</td></tr><tr><td>600- 900m²</td><td>2m</td></tr><tr><td>&gt;900-1500m²</td><td>3m</td></tr><tr><td>&gt;1500m²</td><td>5m</td></tr></table>	Lot Size	Min. Setback	600- 900m²	2m	>900-1500m²	3m	>1500m²	5m				
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Parking provision*	1 space for upto 2 bedrooms and 2 spaces for 3+ bedrooms.	Min. 1 car parking space per dwelling												
Private open space	50m² per dwelling (min. length of 5m)	16m² per dwelling (min. length of 3m)												

## **A** Planning Controls



### A-4 SEPP 65 and the Apartment Design Guide



The NSW Government developed the State Environmental Planning Policy No.65 - Design Quality of Residential Apartment Development (SEPP 65) and the Apartment Design Guide (ADG) to promote better apartment design across NSW. The policy establishes a consistent approach to the way apartment designs are assessed by councils and the guide explains how to apply SEPP 65's design principles.

SEPP 65 outlines nine Design Quality Principles to improve the attractiveness and amenity of residential flat buildings, shop top housing and mixed use developments. These are:

- Principle 1: Context and neighbourhood character
- Principle 2: Built form and scale
- Principle 3: Density
- Principle 4: Sustainability
- Principle 5: Landscape
- Principle 6: Amenity
- Principle 7: Safety
- Principle 8: Housing diversity & social interaction
- Principle 9: Aesthetics

The ADG provides detail and design guidance for residential apartment development to meet the SEPP's principles, including visual privacy, solar and daylight access, common circulation and spaces, apartment size and layout, ceiling heights, private open space, natural ventilation, and storage. The requirements of the SEPP 65 and the ADG are important considerations for future apartment designs with more than 4 units that are at least 3 storeys high within the study area.

In the development of planning controls, the guide recommends site-specific building envelopes and heights be provided within the DCP that address development on large or complex sites, such as those impacted by excessive slope or flooding. It also identifies how corner, or wide shallow sites could have different floor space capacities.

The guide sets design criteria that provide the measurable requirements for how an objective can be achieved. The key design criteria include:

- Minimum separation distances between buildings upto 4 storeys (12m) should be 6m between habitable rooms and balconies and 3m between non-habitable rooms.
- Provide a minimum area equal to 25% of the site for communal open space.
- Provide minimum deep soil area equal to 7% of the site.
- Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 3 hours direct sunlight between 9 am and 3 pm at mid winter.
- At least 60% of apartments are naturally cross ventilated and overall depth of a cross-over or cross-through apartment does not exceed 18m.
- Design criteria also provide minimum requirements for the size of apartments, private open spaces and storage areas to each unit.



A Planning Controls



An example of a low rise apartment development in Newhall UK



Low rise contemporary apartments of 2 storeys in Mittagong offering basement car park and lift access



Example of low rise apartments in Bowral with basement car parking



Example of an apartment block in Mittagong with on grade car parking

Relevance to this study

With the growing need for smaller housing and urban intensification to accommodate the projected growth in Wingecarribee, low rise apartments provide an efficient means of increasing density while maintaining the character of the Shire. Currently the controls do not allow for the development of medium to high rise forms within the LGA. However, a few recent or upcoming developments of low rise apartments, which are permitted under the controls, can be found within the centres of Mittagong, Bowral and Moss Vale.

To ensure the quality and amenity of such developments and their neighbouring properties, the local planning controls need to consider the objectives and influence of the ADG. Some controls set within the DCP, such as those for side setbacks, prescribe higher requirements than those set within the ADG. On the other hand, there are no requirements for amenities such a communal open space and deep soil zone set under the DCP. A closer alignment with the ADG would help achieve better housing outcomes.



## Appendix B Stakeholder Engagement

- B-1 Stakeholder Engagement Overview
- B-2 Comments from workshop with Council staff
- B-3 Comments from workshop with Community and Industry Representatives

## **B** Stakeholder Engagement

### B-1 Stakeholder Engagement Overview



For the stakeholder engagement for medium density housing development controls, two workshops were undertaken: one to engage with Wingecarribee Council staff, and the second one to hear from community and industry representatives.

The workshop with Council staff was attended by 8 staff members. The team discussed detailed input into the various components of the medium density controls in a SWOT analysis format, looking at what works and what needs to change, as well as the opportunities and threats moving forward.

The community and industry representatives workshop was attended by almost 50 participants. Following a short presentation on the project, people were encouraged to circulate between three activity stations: ideas & issues (writing ideas and concerns on post-its), vision board (creating a vision board for the Shire using the images and text provided); and place-based discussions (discussion around maps for the four towns).

The following comments are a summary of the feedback from both workshops, and will support the review of Medium Density Housing Development Controls for the four towns of Bowral, Mittagong, Moss Vale and Bundanoon.

**B** Stakeholder Engagement

B-2 Comments from workshop with Council staff



**Strengths of the Medium Density Controls**

50% landscaping requirement works well - helps preserve the prominent landscaped visual character of the towns as well as control the bulk and scale of the built form (4)

A key strength of the DCP is how consistently it is applied; and the Council should continue to be strict on following the controls

Due to strict application of controls, most R3 development looks like its surrounding R2 and blends in well

Applying an overall height limit (as currently applied) is better than varying height per typology

25m minimum width requirement takes into consideration that most lots are around 20m width; thus requiring consolidation and hence, a better site proportion for layout (a number of lots are around 100m deep)

Residential Flat Building (RFB) height of two storeys plus third storey within the roof form works well

**Weaknesses of the MD Controls**

Controls are not easy for people to understand and/or interpret because of confusing language; need more DCP diagrams and less ambiguity

Dwelling mix is currently only required for 8 or more dwellings; that should be reduced to promote more diversity

Some controls need to move to LEP - DCP controls are difficult to defend in Land and Environmental Court

25m frontage is a significant barrier to entry for medium density housing as it requires consolidation with adjacent sites

Developers have found a way to work around the 25m frontage requirement - by targeting development of battle axe properties

Most recent development is low medium density housing; a safer option than RFBs (only 1-2 RFB DAs currently in progress)

Consider reducing number of parking spaces per dwelling; current requirement is higher than industry standards

Materials specifications are over 10 years old; need update, including getting rid of brick veneer, which is undesirable

Flood prone R3 medium density areas are a problem, especially if they include basement parking

Current control limiting development beyond 50m from the front lot line isn't practical or followed; consider taking it out

Building height v/s bldg footprint: overshadowing is a key concern and north facing exposure is important



## **B** Stakeholder Engagement

Location and visibility of services is not addressed in the controls - it leads to poor design and execution for placement of services which are often an eyesore

Examples of inappropriate landscaping and plant selection; suitable types of trees, planting and hedges needs to be specified in the controls

Developers have often complained that seniors housing, which prefers single storey construction does not allow for achieving FSR while retaining 50% landscaping at the same time

For sub-zone B in R3, there is some pressure to increase FSR; for all other zones, current FSR is sufficient

Moss Vale currently has a pre DA application that has bad site design, minimum diversity, low quality layout and open space; the controls need more definition on how to achieve high quality medium density development to prevent badly designed, low-quality and low-amenity development

### **Opportunities for the MD Controls**

Address minimum lot size with integrated housing clause - to allow Torrens title for subdivisions, especially for Terraces development

Add more defined controls for mature vegetation and trees on site; need to strike a balance between tree retention v/s achieving medium density development

Consider bonus FSR for large sites; there is none in practice yet

Add controls to address overshadowing with stepped built form when adjacent properties are low density

Consider expanding on the R3 sub-zones for more articulated and nuanced controls - creating precincts and varying controls for setbacks, landscaping requirements (esp where existing setbacks are inconsistent with future character)

On-site stormwater retention to be considered for large sites to prevent stormwater going into the drainage system that is already at capacity

Protection of key views to be included within the controls - views of heritage items such as those of Oxley Hill (Wingecarribee House on a hill) are important and could be affected with insensitive development

Southern part of the railway line in Mittagong is zoned R3 - north-facing slope; explore opportunities to incentivise medium density here

Victoria St development uses lipping to deal with flood issues by using a berm for the basement

Good example of RFB - Bowral basement carparking, 0.6:1 FSR, 3rd floor within roof

Investigate if 25m frontage is still appropriate or could be reduced - accommodate irregular lots with descriptive rather than numerical controls

Consider colour palette(s) for the towns

Incentivise basement parking for RFBs

## **B** Stakeholder Engagement

### B-2 Comments from workshop with Council staff

#### **Opportunities for the MD Controls (contd.)**

Reference: Ku-RIng-Gai Council controls have good description for planting. Variety in planting and fencing to be included in the controls

A key part of Southern Highlands character are the blue stone walls and Bowral blue bricks, which work well against light weight structures - include these in the controls for materials

More clarity in the controls for front setbacks for areas undergoing transition

Include controls for sustainability initiatives like wind turbines and solar panels

Prefer buildings to go higher than reduce the 50% landscaping requirement

Contemporary design for terraces not appropriate for Southern Highlands character

Current private open space (POS) of 50m<sup>2</sup> is working well. Controls to define proportions (min. width x length) for private open spaces and communal open spaces for larger developments

Specify planting: height, colour, plant & tree types, hedges, retaining existing mature trees

Incentivise amalgamation to increase viable lots for MDH

Local Planning Panel is very prescriptive - stick to what's written in the controls - detailed controls will lead to fewer undesirable outcomes

Tandem parking is discouraged in general, but tandem preferred instead of double garage

Include controls for communal open space, especially for large developments

Built-form controls to consider facade articulation, deep shadows, breaks between continuous built form to offer views of the landscape

Consider special precinct controls for Oxley Drive with consideration to stepping of buildings to prevent overshadowing

#### **Threats for the MD Controls**

Pretty houses with heavy landscaping is a key characteristic of the Southern Highlands - excessive R3 medium density could change that

Solar access is a very important criteria for residential development in regional areas; for POS as well as overshadowing along the streets for footpaths

Controls around solar access and PV panels need to be updated, especially in the Heritage Conservation Areas (HCA)

Bowral Clarke St and Moss Vale - R3 zones have technical problems due to topography; a large amount of cut and fill is required

Ascot St most lots are very narrow and long: 100m deep with 20 frontage

Max 25m continuous built form requirement is too long resulting in long monotonous buildings; it should be shorter

Pressure to get rid of large trees; with the excavation in some developments it is difficult to keep large trees alive

Adding restriction with width x depth for lots could add hurdles for development

Transitional sub-zones approach is needed - we don't want Dee Why happening on Oxley Drive

**B** Stakeholder Engagement

B-3 Comments from workshop with Community and Industry Representatives

Mittagong and Bowral	Moss Vale and Bundanoon
Need more robust objectives and specific controls, especially around vegetation	Address major traffic problems if density of housing is to be intensified
Seniors housing works well for MDH in the area - Mt Eymard in Bowral (Moss Vale Road), Annesley on Aitken Road (between Park Rd and Westwood Dr) and Mereau Village at the end of Kirkham Street Moss Vale	Hoskins Street identified as ideal for Medium Density
Good example: Rosevale – 500 Moss Vale Road Bowral	Medium density development along Elizabeth Street would be difficult as it would have to consider the transition from an HCA
The country garden character of the towns is being lost by allowing mature landscaping to be removed	Heights can be increased along Elizabeth Street where the zone is adjacent to neighbourhood shops
Consideration to be given to the width and slope of roads when assessing for MDH E.g. Waverley Parade in Mittagong - serves MDH, bus route, street parking	Rose Vale and other medium density development have been forced to become strata
Incentivise site amalgamation	Seniors housing development generally looks inwards with blank walls along adjacent streets and neighbouring properties
Shoalhaven Council's character assessment tool is a great reference	Exclusion of driveways from the 50% landscape control leads to a very small medium density footprint, requiring increased height
Heritage components of the DCP are well-nuanced and could be good reference	Medium density zoned land between Throsby Street and the Railway line has an FSR of 0.6:1 (which allows RFBs) and 0.4:1
	Contours on a corner lot between Yarrowa St and Railway St did not allow for medium density housing development



**B** Stakeholder Engagement

B-3 Comments from workshop with Community and Industry Representatives

**Vision Board** A vision for future medium density development in the Shire using the images and text



**Vision Board - DISLIKES**

- New developments that favour yield rather than amenity
- Contemporary developments are often noise generating with the A/C on the property boundary
- Garages that are too prominent in style and location and detract from the street scape
- New development is often 'inward' looking with disregard for streetscape and amenity
- Flat roof designs
- Walled estates which create unfriendly streets
- Developments that are too modern often do not reflect or reference the heritage or local character of the area
- The removal or absence of trees
- Designs that do not show consideration for pedestrians





## **B** Stakeholder Engagement

### ***Vision Board - LIKES***

Placing value on heritage and ensuring it is preserved
Trees as critical elements that contribute to the character of the environment
Deciduous trees should be favoured to embrace the winter sun
Garages to be positioned at the rear of properties
Scale and style of buildings that reflect the local character and heritage of the area
Developments should be predominantly outward looking
Protection of country town garden character
Creating connection and diversity within the community to cater to different ages and demographics
Using natural materials; good green design with low impact
Retaining trees where possible
Encourage hidden services
Use of hedges within landscaping
High-quality sustainable designs
Weatherboard as a form of affordable material with an aesthetic quality
Muted colours
Outward looking development
More cottages, verandah close to the street
Provide more 1 & 2 bedroom dwelling options





**WINGECARRIBEE COMMUNITY HERITAGE STUDY 2021 - 2023  
PEER REVIEW 2024**

**1**

**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

**General Background**

This Peer Review report to Wingecarribee Shire Council has been prepared by Robert Staas B.Arch., M.B. Env., Dip Cons (York), FRAIA, a retired Heritage Consultant familiar with the Shire and experienced in the assessment of heritage significance of identified individual Heritage Items and designated Heritage Conservation Areas.

The Review was commissioned by Wingecarribee Shire Council in January 2024 and has been carried out in line with the Peer Review Policy of NSW Environment & Heritage, Department of Planning and Environment 2002 used to provide guidance in the preparation of the final heritage listings for inclusion in a Gateway Submission to the NSW Department of Planning.

This Review has been prepared in relation to the properties and areas identified in the Wingecarribee Shire Council Heritage Study 2021 - 2023, A Community Based Heritage Study.

The Wingecarribee Shire Heritage Study (Community Based Heritage Study) 2021 - 2023 was carried out under the direction of Council's Strategic Outcomes Team and involved non council staff members of the Wingecarribee Heritage Advisory Committee and a number of other local community members co-ordinated by Mr Dennis McManus, with support from Council's Heritage Planner, Ms. Sarah Farnese.

A total of 609 Individual Items and 16 Heritage Conservation Areas are identified in the study which comprises a series of 20 bound volumes published by the Council. These volumes are arranged to cover the various administrative areas throughout the Shire.

Details of the study parameters, methodology, findings and recommendations are to be found in Volume 1 of the study.

A Spreadsheet containing a summary of all items examined with recommendations for inclusion or exclusion as heritage items forms Volume 2 of the study.

Volume 3 is divided into a number of bound volumes providing evidence and assessment of each item examined grouped by locality.

The Community Heritage Study does not address any matters related to pre-European occupation sites and does not include any detailed Archaeological assessments.

An earlier Heritage Study undertaken by Heritage Consultants, Architectural Projects, dated 2009 identified 700 potential heritage items with background information and assessments. The recommendations of that report were not fully implemented by the Council at that time. That study forms Appendix 1 to Volume 1 of the current Community Based Heritage Study. Information from that study is also included to support some of the proposed listings in the current study.

The current Wingecarribee Shire Local Environmental Plan, 2010 lists some 500 individual heritage items, 10 archaeological sites and 19 Heritage Conservation Areas in Schedule 5. A total of 41 places in the Shire are currently entered on the NSW State Heritage Register as being of State significance.

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

Wingecarribee Shire is one that is generally recognised by local residents and visitors from outside as having outstanding historic and visual characteristics related to the large number of historic environments and the presence of outstanding topographical and landscape features. Together these provide evidence of the historical evolution of the area from early colonial times to the present day. They also evidence associations with significant institutions, industries, individuals and families that are recognised by the wider community for their contribution to the development of the area and to the State of NSW.

A large number of these environments exhibit aesthetic values that are widely recognised as contributing to the overall post European occupation cultural values of the various communities within the shire.

It is these values that the current Community Based Heritage Study has sought to identify to enable appropriate management of future planning for the shire by Council to protect its' unique character and setting.

Heritage listing is used as a tool by government agencies to allow management of future development for sensitive sites and where necessary to ensure the retention of significant buildings and landscapes by identifying those aspects of a place that demonstrate significant heritage value. In evaluating future change, Council uses the available information and undertakes appropriate consultation with owners to achieve acceptable outcomes that balance property owners requirements and community expectations.

**Heritage Study Structure & Authorship**

The Community Based Heritage Study 2021-23 has been appropriately carried out and documented in a format that follows the framework established for identifying Local Heritage by the NSW Heritage Manual 1996 and the guidelines for 'Assessing Heritage Significance' dated 2001.

Authorship of the study is clearly identified in the documents and individual contributions to research and assessment are cited throughout the Preliminary Evidence Sheets.

Council has provided detail property land title identification and addresses for each potential individual heritage property and maps contained in the study define the proposed areas for inclusion as Heritage Conservation Areas. Minor errors in relation to some street numbers were identified and need to be appropriately changed or otherwise verified prior to completion of the final report.

Detailed mapping of each administrative area has not been provided in the current study and will need to be undertaken prior to completion of the final report and any submission for Gateway consideration.

Where practical, appropriate photographic evidence has been included in the Preliminary Evidence Sheets of the Community Heritage Study. Further photography would assist in future planning outcomes for the adopted heritage sites, particularly where public visibility is limited by location of a site or by the presence of dense vegetation.



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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)  
Heritage Conservation Areas**

The present Wingecarribee LEP 2010 contains listings for a number of Heritage Conservation Areas, the Community Based Heritage Study includes recommendations for the extension of a number of existing listed Heritage Conservation Areas and the creation of a several new Heritage Conservation Areas and Landscape Conservation Areas based on cohesive architectural or landscape character and historical significance.

Detailed mapping of individual component elements in the proposed Heritage Conservation Areas is not included in the study despite some information about individual properties being provided. This does not allow an appropriate assessment of 'contributory', 'non contributory', 'neutral' and 'detracting' elements to determine future management of the proposed areas. Future statutory mapping should include this information by the use of colour coded representations on planning maps.

Clear management policies for the treatment of elements in these areas needs to be prepared to guide future assessment of any proposed development that may affect their identified significance. These policies should include issues such as maintaining original materials, design guidelines for additions and alterations, location and scale of garaging, fencing styles, landscape character etc.

It is noted that in a number of areas identified as Heritage Conservation Areas that further individual heritage listings are proposed. In my opinion a number of these listings do not reach a threshold for individual heritage significance and are more appropriately considered to be 'contributory' to the identified significance of the overall area. It is clear that the Study authors thought that this was an appropriate approach with some properties that were identified but not recommended for eventual inclusion in the final list of heritage items. In such cases adequate protection relating to any future development can be achieved through appropriate planning controls for the Heritage Conservation Areas.

**Research and Content**

A substantial amount of historical and physical research has been undertaken by the members of the study team who have identified expertise in their fields of study. The Community Based Heritage Study is by its nature the result of contributions by local community members and organisations on a voluntary basis without payment. Council involvement involved an administrative component and advice from specialist planners, especially in the community consultation stage of the undertaking.

The owners of a number of identified properties have provided additional material relating to the history and evolution of their sites and this material should be added where possible to the existing research.

A number of submissions from property owners of some items identified in the study have questioned material used in assessing heritage values associated with their properties. Where there is clear conflict over significant facts it is recommended that items be deferred from inclusion in the final list to allow further

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

detailed research and consultation to take place in evaluating levels of heritage significance.

**Documentary Evidence**

Documentary evidence has been compiled in the study by the study team and is clearly identified in the text of the Preliminary Evidence Sheets. This material has been assembled using resources from the previous heritage study of 2009 and Local History archives as well as State and National archives and family records.

A criticism has been made in submissions from owners that the Study does not include a 'Thematic History' of the Shire and this has some validity. The previous study did contain 'Key Themes' for Mittagong, Moss Vale and Bowral and a 'History of the Berrima District'. These themes are not specifically identified in the present study, however the Preliminary Evidence Sheets do identify a number of themes that recur in the area such as railway development, tourism, recreation, education and dairying etc. and there are a number of existing historical assessments of the development of the Southern Highlands that provided a basic framework for identification and assessment of heritage values.

A criticism made in submissions by a number of affected property owners is in regard to the use of 'Real Estate' descriptions which are often either incorrect in terms of background information or not accurate in their highly florid descriptive language. I agree that this information has little value in assessing heritage values but believe they have not been given unreasonable weight in the final assessment process or in the formulation of Statements of Heritage Significance.

With the exception of extensions to existing Heritage Conservation Areas and a small number of existing Heritage Items where additional listings are proposed, the study has not conflicted with any current statutory heritage listings.

The issue of the identification of 'Interiors' has not been adequately addressed in the study because of the inability to access the private properties. In my assessment it would be more prudent to exclude the mention of interiors from any listings with the exception of those where accurate knowledge of surviving significant interiors exists. In my experience general planning management for Local Heritage Items rarely includes specific interior controls.

If significant interiors can be verified then it is legitimate to link them to the heritage identification of a particular property, if an interior is significant but associated with a property that otherwise lacks heritage values, it should be clearly identified separately.

The issue of 'gardens' is similar in this regard. Some listings in the study include particular references to gardens which either no longer exist or are so modified as to have little heritage value. Except where specific landscapes, gardens or significant plantings / trees can be identified, the setting and curtilage of Local Heritage Items is generally covered by the property listing without specific reference to the contemporary gardens.

Individual garden built elements such as fences, walls, wells, outbuildings etc which have particular heritage significance should be individually identified in the property listing.

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

The Australian Garden History Society has made two submissions to Council supporting the current study and praising the inclusion of significant landscape elements and historic gardens. I agree that the urban and rural landscapes of the Southern Highlands are distinctive and provide positive settings for a large number of the identified heritage items, however the inclusion of relatively modern landscapes attached to heritage items as having heritage value needs to be carefully considered in any final listing.

Physical and documentary evidence for surviving significant gardens needs to be established before heritage listing is made for any particular property.

A number of trees are identified in the study as having individual heritage values however with few exceptions these should more appropriately identified in a 'Significant Tree Register' yet to be established by Council.

It may also be appropriate to establish a category of Cultural Landscapes that cover wider landscape areas and some rural areas of outstanding beauty.

**Assessment of Significance**

The assessment of significance of the proposed individual Local Heritage Items under the seven NSW Heritage Assessment Criteria is generally appropriate, however some of the identified associations with persons and events are not, in my opinion, sufficiently established as being significant for the place or the community.

There are also a number of generalisations made in regard to properties without clear evidence as to why they reach a threshold for inclusion. In general many properties identified are 'representative' rather than 'outstanding', 'unique' or 'rare'. This does not preclude their listing but may affect the final Statements of Heritage Significance adopted by Council.

A number of objections to this aspect of the identification of properties has been highlighted by various property owners in their submissions. While I do not consider that it is necessary to delete historical and family associations in the Assessment Section of the Preliminary Evidence Sheets it would be better if the final Statements of Heritage Significance were more precise in this regard rather than copying the whole of the text in the Assessment Section.

I have observed that there is some level of inconsistency across the study with regard to identifying properties in different areas that are generally of similar age, character and intactness. Given the scope of the study this is probably inevitable. I do not consider this discrepancy to invalidate the overall study.

Some descriptive wording in the proposed Statements of Significance such as 'beauty of its setting' are probably unnecessary to the establishment of heritage values.

**Curtilage**

The issue of curtilage has not been clearly addressed for individual Heritage Items but would generally be understood to be the property boundaries.

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Identification of property by Lot descriptions ensures that the location is accurately established but does not necessarily imply that future planning controls cover all land associated with a particular item.

There are a number of larger properties where a defined 'reduced curtilage' needs to be identified to avoid unnecessary planning restrictions on the whole of a complex site. This is so for instance on a number of the institutional sites which contain remnant heritage items surrounded by other development or some large rural sites where the identified heritage item is a small component of the total land area. These matters will need to be considered and formalised prior to completion of the final report for the Gateway submission.

**Community Notification and Consultation**

Following a number of public forums and individual notifications to affected property owners of the draft Local Heritage Listings in the Wingecarribee Community Heritage Study, submissions were sought from owners regarding the affected properties and from other community members to allow a final assessment to be made through this independent peer review process external to the Council, and without reference to the Community Heritage Study authors.

In undertaking the Peer Review, no direct contact was made with the property owners or community groups that made submissions to the Council through the public comment stage of the process.

The vast majority of identified Local Heritage Items identified in the Community Heritage Study have not been contested by affected property owners following notification by the Council, suggesting a general acceptance of the study and the community desire to identify and protect the unique built and landscape heritage character of the Southern Highlands region.

A number of submissions in support of the Community Heritage Study as a whole and the listing of individual Heritage Items and Heritage Conservation Areas were also received and are generally acknowledged here. Some submissions seeking further information or clarification of the process and its implications were dealt with in the public forums and through individual appointments with Council staff and are not further reviewed here.

Each submission received from property owners was reviewed against the Preliminary Evidence Sheets in the Community Heritage Study and the Statement of Significance proposed for each identified site or Heritage Conservation Area. Where valid reasons for objection were made these were individually evaluated and each property was visited where possible and viewed from the public domain. Some properties were inaccessible or aspects of the site were not readily visible, in these cases the review was made from the material available in the study and other readily available material.

A final assessment of each contested item identified in the study was made to ensure that they were correctly identified and demonstrate the heritage values stated in the study.



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In preliminary discussions with Council staff it was recommended that final notifications be sent by registered mail to the legal owners of each property to avoid any future claim that appropriate notification and consultation was not carried out. It should be understood that occupiers of properties are not necessarily the legal owners and that regular mail delivery is often cited as an excuse for claiming non notification of Council's intention to list.

**Conclusion**

Heritage assessment is not an empirical process and some degree of subjective judgement will inevitably be involved and opinions will differ, however this Peer Review aims to provide a balanced assessment of the material provided by the authors of the Community Heritage Study based on the current author's knowledge and experience.

Consideration of age, degree of 'intactness', representative value, 'uniqueness', important 'associations' and quality of design have been taken into consideration.

A number of items identified in the Community Study are simply representative of a common type without any identifiable level of outstanding significance, and in general where these are located in an existing or proposed Heritage Conservation Area, they have been recommended for exclusion from the final heritage list.

A number of properties have undergone substantial internal and external modifications which reduce their heritage significance considerably. Where this was considered to be the case a recommendation for exclusion has been made.

It was not the purpose of the Peer Review to re-examine all of the historic research material included in the study and there will be inevitable inaccuracies in some of the Preliminary Evidence Sheets for some properties.

It was not the purpose of the Peer Review to identify further potential heritage items though there may be scope in the future for additional listings.

A number of submissions made by the public have corrected errors of fact or provided additional detailed information which will be included in the final report adopted for inclusion in the Gateway submission to the NSW Department of Planning.

Further information identified in the future will also inform the planning process when it is necessary for council in dealing with identified Heritage Items and Heritage Conservation Areas.

The recommendations of this Peer Review as to the continued 'inclusion', 'exclusion' or 'deferment' of the proposed heritage items are listed below village by village. The Item numbers are those identified in the study.

Most of the proposed Heritage Conservation Areas are recommended to be adopted subject to the comments made in the review where some modifications might be considered. The proposed Mittagong Heritage Conservation Area extension is recommended to be excluded. The Holly & Elm Street extension of the Bowral Heritage Conservation Area is recommended for deferment.

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

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A recommendation for the investigation of creating an additional Cultural Landscape Conservation Area for Kangaloon and East Kangaloon has been made as part of this review. This action would be outside the current program for the preparation of a Gateway submission resulting from the current Community Based Heritage Study.

A summary table indicating the initial recommendations of the Community Based Heritage Study and the recommendations of this Peer Review for continued **inclusion, exclusion or deferment** of all Individual Items is attached to this report for the consideration of Council.

**ROBERT STAAS - HERITAGE CONSULTANT  
April 2024**

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

**RESPONSE TO SUBMISSIONS TO COUNCIL BY PROPERTY OWNERS.**

**BERRIMA**

**Item No. 8**

**Property**      **38 Jellore Street Berrima**  
**Berrima Bridge Nursery, House, Outbuildings, Garden and plants**  
**Lots 1-2 Sec 6 DP 758098 and Lot 1 DP 1038911**  
This property is located within an existing Heritage Conservation Area.

Submission objecting to proposed listing as a Local Heritage Item by owners Julian Brophy & David Prior.

The proposed listing is largely for associations with Claud and Isobel Crow and for the remaining evidence of nursery activity including early glass houses and the propagation of plant species which have been determined to be significant to the development of Horticulture in Australia in the second half of the 20th century. Listing of the site does not preclude development that does not detract from these identified heritage values for the Wingecarribee Shire or the Berrima township.

***Recommended to be included as a Local Heritage Item with minor modifications to the Statement of Significance in the Preliminary Evidence Sheet to reflect changes made since the Conservation Management Plan was prepared. The word 'House' should be deleted from the listing identification.***

**BOWRAL**

**Item No.40**

**Property**      **421 - 425 Bong Bong Street Bowral**  
**Former Bowral Spare Parts**  
**Lot 1 DP 744028**  
This property is located in an existing Heritage Conservation Area.

Submission objecting to proposed Local Heritage listing by Zlatko Todorcevski, director of Bowral Garage Development Pty Ltd claiming procedural unfairness in relation to the proposed heritage listing, conflicting advice from Council officers over a number of years and an inability to adequately respond in the time available for submissions. The owner claims potential financial loss from any heritage listing of the property that would affect the site's future redevelopment.

The owners submit that the building was erected in 1918 not in 1925 as identified in the study and question the length of time it operated as a car showroom. Research indicates the building was erected for Hampshire and Moore to the design of local architect H. Sheaffe in late 1925.

The prominent corner building at the southern entry to Bong Bong Street, Bowral is a landmark for its size and characteristic interwar design and represents a significant aspect of the evolving town centre in the interwar period to cater for increased number of motor vehicles in the area. The facade detailing returns at both ends of the street frontage providing a strong corner presentation, while a large skillion structure at the rear provided open covered space for display and later servicing of vehicles. The rear of the site is an open yard with no structures.

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

The building is representative of an uncommon building type in the town rather than a rare example of inter war commercial design generally. It is however a very important and intact part of the historic character of Bowral town centre.

The building is complemented by another interwar design by the same architect to the north on Bong Bong Street, The Berrima District Ambulance.

The garage and later car sales on the site were operated by Hampshire and Moore from late 1925 till their partnership was dissolved in January 1928 after which G.A. Moore continued to operate from the site. Car sales by C.N Jackson in conjunction with the Sydney firm of Larke, Neave & Carter also operated from the same site from 1927 till the mid 1950s.

There is no doubt in my mind that this site is a significant heritage element in the main street of Bowral or that an appropriate adaptive re-use of the existing structure and a sympathetic rear site development could not be achieved through appropriate negotiation.

***Recommended to be included as a Local Heritage Item in the Community Heritage Study for the reasons generally identified in the Preliminary Evidence Sheet. The Statement of Significance for the place could be modified as follows: "The former Bowral Spare Parts store is significant in illustrating the development of the southern end of the main street of Bowral in the 1920s. It is associated with the local partnership of Moore and Hampshire who commissioned the garage to be built to meet increasing demand for cars in the interwar period and for the continued use by George Moore and Charles Jackson after 1927 for car servicing and sales. It is also of some significance as one of the commercial buildings designed by prominent local Architect and Surveyor, Henry Sheaffe. The architectural form and detail of the building is typical of the period and creates a strong visual termination to the commercial streetscape in this key location."***

**Item No. 42**

**Property      37 Boolwey Street Bowral  
Interwar House  
Lot 31 DP 1020279**

This property is located within an existing Heritage Conservation Area

Objection to proposed listing as Heritage Item by owner Alexandra Furlong.

The proposed listing is largely related to the wider subdivision history and development pattern created by the Glebe Subdivision of 1921. The site is already included in the Bowral Heritage Conservation Area and is a contributory building in that context for its character and setting. Insufficient evidence is provided in the Heritage Study to warrant individual listing of this property which already has some level of planning protection.

***Recommended to be excluded from the Community Heritage Study as being of insufficient individual significance to the identified heritage values of the existing Conservation Area.***



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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

**Item No. 58**

**Property      116 Bowral Street Bowral  
Lot 11 Sec E DP 11838**

This property is located within a proposed Heritage Conservation Area

Listing supported by current owner Kirsty Lovell.

The house is representative of the type of early development of the Glebe Estate subdivision undertaken by builder Alf Stephens in the 1920s and 1930s. Its significance is representational of Inter War development carried out by a prominent local builder and for its contribution to an understanding of this significant subdivision of the Anglican Glebe lands under the provisions of the 1919 Local Government Act.

***Recommended to be included as a Local Heritage Item as identified in the Preliminary Evidence Sheet in the Community Heritage Study.***

**Item No. 71**

**Property      12 Bradman Avenue Bowral  
Post War House  
Lot a DP 354399**

The property is located within an existing Heritage Conservation Area.

Objection to proposed listing as a Heritage Item by owners John & Jenni Vild.

The proposed listing is largely related to the representational character of Inter War housing constructed in the Glebe Estate. While the building is contributory in this respect, it does not demonstrate significant heritage values beyond common characteristics in this location. The property is already contained within the Bowral Heritage Conservation Area and has some planning protection in regards to maintaining streetscape character.

***Recommended to be excluded from the Community Heritage Study as a Local Heritage Item being of insufficient individual significance beyond the representative values of the existing Heritage Conservation Area.***

**Item No.82**

**Property      43 - 47 Centennial Road Bowral  
'Craigieburn' - homestead, golf course and garden including Bunya Pines.  
Lot 56 DP 664260, Lot 1 DP 347273 part Lot 2 DP 960916**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission from Craigieburn Resort Ltd, indicating acknowledgement of heritage value of Craigieburn and seeking future consultation following preparation of a Conservation Management Plan in 2024.

There is no argument that this site has local heritage significance and is demonstrative of major heritage themes in the Southern Highlands relating to 'recreation' and 'tourism' as well as historical and social associations with the development of Bowral. It is a major landscape item in the area. Further information arising from the preparation of a Conservation Plan of Management will assist in future planning controls for the site.

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

***Recommended to be included as a Local Heritage Item for the values set out in the Preliminary Evidence Sheet in the Community Heritage Study.***

**Item No. 86**

**Property      3 Church Street Bowral  
House  
Lot 5 Sec C, DP 11838**

This property is located in an existing Heritage Conservation Area.

Submission from owners Peter flee & Joanna Quilter to the Local Heritage listing of this property on the basis of substantial redevelopment of the original house in recent time obliterating its original form and presentation.

This building despite its historic and social associations does not provide any level of evidence in its physical form or presentation to Church Street that would warrant its listing as a Local Heritage Item.

***Recommended to be excluded as a Local Heritage Item from the Community Heritage Study on the basis of its inability to provide evidence of its original form and character or to demonstrate the associated historic and social values identified in the Preliminary Evidence Sheet***

**Item 115**

**Property      27 Gladstone Road Bowral  
'Brightlands' 1888 house, garden & stables.  
Lots 1 & 2 DP 130349**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission from owners Peter & Lisa Snodgrass objecting to the proposed Local Heritage listing of the property because of changes made over time and the perceived future burden of planning controls.

It would appear that while the front portion of the house still reflects the 1930s character, the large rear extension and modification of the surrounding gardens and landscape have substantially removed a good deal of original fabric and character from the property. The historical associations with the place appear to be well documented in various collections and are not readily apparent on the site. For these reasons I consider that the property is not of any high level of significance.

***Recommended to be excluded as a Local Heritage Item as a result of the loss of integrity of the early site development and subsequent degradation of the later Inter War character.***

**Item No. 119**

**Property      16 Glebe Street Bowral  
Interwar Bungalow  
Lot 61 DP 1198883**

This property is located within an existing Heritage Conservation Area.

Objection to proposed listing as a Local Heritage Item by owners Toniann & Neil McPherson.

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

The proposed listing relates to representative values associated with the history of the Glebe subdivision and the Inter War development of the buildings in this location. While it is clear that this and the adjoining house are contributory to the streetscape and the setting of adjoining heritage items the modifications of details and the unsympathetic painting of the face brickwork limit their value as individual heritage items. In the absence of any significant historical associations they should be considered as contributory items in the Bowral Heritage Conservation Area which provides basic planning protection of their contributory status.

***Recommended to be excluded from the Community Heritage Study as a Local Heritage Item, being of insufficient individual significance beyond the representative values of the existing Heritage Conservation Area.***

**Item No. 120**

**Property**      **18 Glebe Street Bowral**  
                     **'Federation' style house from Interwar period.**  
                     **Lot 11 DP567917**

This property is located within an existing Heritage Conservation Area.

Objection by John Butcher on behalf of the owner which is a Trust, with supporting critical report by Sue Rosen, Heritage Consultant relating to statements in the Preliminary Evidence Sheet and proposed Statement of Significance for the site in the Community Heritage Study.

The proposed listing relates to representative values associated with the history of subdivision and the Inter War development of residential buildings in this location. Additionally this site has prominence within the existing Heritage Conservation Area because of its corner location and the more distinctive design which reflects a transition from standard 'Federation' era houses to Inter War bungalows which are more common in the surrounding streetscapes.

Subdivision of the site behind the main street frontage has reduced its ability to demonstrate the original subdivision pattern however the wide frontage indicates the original intention for corner prominence on this site and this is further enhanced by the traditional garden setting.

The site has limited value as an individual heritage item in the absence of any significant historic associations and relatively standard aesthetic value despite its distinctive presentation in this location. It is clearly a highly 'contributory item' in the Heritage Conservation Area and this provides some level of planning protection against future unsympathetic development. The place is not significant for any association with Don Bradman nor is it particularly rare for its design character.

Any future development should retain the existing external materials and facade details and the open landscaped garden character of the site.

***Recommended to be excluded from the Community Heritage Study as a Local Heritage Item, being of insufficient individual significance beyond the representative values of the existing Heritage Conservation Area. This site is however in the immediate vicinity of items identified as having high Local and State Heritage significance, being Bradman House and Bradman Oval. For this reason special consideration should be given when assessing any proposed development of the site to maintain an appropriate setting for these significant items.***

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**Item No. 121**

**Property      22 Glebe Street Bowral  
Interwar Bungalow  
Lot 15 SecE DP 11838**

This property is located within an existing Heritage Conservation Area.

Objection to proposed listing as a Local Heritage item by owner Dianne Handley.

The proposed listing relates to representative values associated with the history of the subdivision and the Inter War development of the buildings in this location. While it is clear that this house is contributory to the streetscape and the setting of adjoining heritage items the building has limited representative value as an individual heritage item. In the absence of any significant historical associations it should be considered as a 'contributory item' in the Bowral Conservation Area which provides basic protection of its' contributory status. The building is not significant for any association with Don Bradman nor is it rare in the context as a single fronted Californian Bungalow.

Any future development should retain the existing face brickwork and original facade details and maintain an open landscape character to the street.

***Recommended to be excluded from the Community Heritage Study as a Local Heritage Item, being of insufficient individual significance beyond the representative values of the existing heritage Conservation Area. This site is however in the immediate vicinity of items identified as having High Local and State Heritage significance, being Bradman House and Bradman Oval. For this reason special consideration should be given when assessing any proposed development of the site to maintain an appropriate setting for these significant items.***

**Item No. 122**

**Property      24 Glebe Street Bowral  
Interwar Californian Bungalow  
Lot 14 Sec E DP 11838**

This property is located in an existing Heritage Conservation Area

Objection to proposed listing as a Local Heritage Item by owner Mallock Park Pty Ltd & Handley Developments Pty Ltd per Sandra Maloney.

The proposed listing relates to representative values associated with the history of the Glebe subdivision and the Inter War development of the buildings in this location and in particular an association with a local builder Norrie Stephens.

While it is clear that this house is contributory to the streetscape and the setting of nearby heritage items the building has limited representative value as an individual heritage item.

In the absence of any significant historical associations it should be considered as a 'contributory item' in the Bowral Conservation Area which provides basic protection of its' contributory status. The building is not rare in the context as a single fronted Californian Bungalow.

Any future development should retain the existing face brickwork and original facade details and maintain an open landscape character to the street.



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***Recommended to be excluded from the Community Heritage Study as a Local Heritage Item, being of insufficient individual significance beyond the representative values of the existing heritage Conservation Area. This site is however in the vicinity of items identified as having High Local and State Heritage significance, being Bradman House and Bradman Oval. For this reason special consideration should be given when assessing any proposed development of the site to maintain an appropriate setting for these significant items.***

**Item No. 137**

**Property**      **25-43 Kangaloon Road Bowral**  
**Bowral Golf Course**  
**including Club House (including some interiors) and former Caretaker's**  
**Cottage.**  
**Various Lots and Sections**  
This property is located within a proposed Heritage Conservation Area

Objection to proposed listing as a Local Heritage Item by Bowral Golf Club supported by an assessment undertaken by Paul Davies Heritage Consultant.

The proposed heritage listing of the Golf Club identifies the site as being locally significant for a range of representative heritage values and includes potential significance associated with the clubhouse structures. The site is however principally significant as an important landscape feature of the area with strong associations with a range of prominent early residents. The site is also held in esteem by the wider community for its contribution to the distinctive development character of this section of Bowral. Its value to the area is not predominantly associated with the current form of the Clubhouse or other built structures, despite the early initial design and construction of some of these elements. Notwithstanding the lack of a detailed Thematic History of the Shire, the theme of 'recreation' is a strong one reflected in the wide range of sporting facilities dating from the late 19th and early 20th century throughout the villages of the Shire. Golf in particular is a dominant feature which has contributed to the development character of Mittagong, Bowral, Moss Vale and Sutton Forrest. The detailed assessment by the Club's consultant has accurately shown that the current listing proposal should be modified to limit those values for which the site has significance to the local community. The existing structures while included on the site have low levels of aesthetic significance.

***Recommended to be included as a Local Heritage Item in the Community Heritage Study with a modified listing to be prepared that reflects the place as a Heritage Landscape associated with the development of the Southern Highlands as a resort destination and recreational activities of the local community.***

**Item No. 139**

**Property**      **36 Kangaloon Road Bowral**  
**'Ranelagh' - Spanish Mission style house.**  
**Lot 6 DP 12732 Lot 4 DP 339390**  
This property is not located in an existing or proposed Heritage Conservation Area.

Objection to proposed listing as a Heritage Item by owners Vernon & Rosemary Vella

The listing has accurately identified this as being a good and substantially intact example of the Inter war "Spanish Mission" influenced design style that demonstrates the competence of an

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informed designer reflecting fashionable trends in architecture of the period. It demonstrates both aesthetic values and a degree of rarity for the area. Both the house and its garden setting are of significance to the established heritage values of Bowral. The current owners identification of prominent architects associated with the property enhances its potential heritage significance.

***Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study.***

**Item No. 140**

**Property      40 Kangaloon Road Bowral  
                  ‘Kenilworth’ - Californian bungalow and surrounding garden.  
                  Lot 125 DP 879002**

This property is not located in an existing or proposed Heritage Conservation Area.

Objection to current wording of the Statement of Heritage Significance and definition of the appropriate curtilage of the property as a Local Heritage Item made on behalf of the owners Kenilworth Gardens Retirement Village by Heritage Solutions.

Additional historic information undertaken by a resident of the village was supplied that provided some confirmation of material in the study and suggests a building date of 1917.

Kenilworth is clearly a good example of the influence of the ‘Californian’ bungalow style introduced to Australia around 1914-15 through the work of Architect, James Pedal and quickly polarised through building publications thereafter. The building which was designed by E.R. Orchard Architect is clearly identified as a “Californian bungalow” built by Mr Claud Terry in articles from the early 1920s and would have been understood to have been such at the time.

Originally featuring dark stained timber detailing and a terra cotta shingle roof it is similar to other high level examples for the wealthy elite seen in Sydney suburbs at the time.

The study suggests that it would be possible to define a suitable reduced curtilage for the building within the larger site and this could be added to the proposed listing in consultation with the owners to avoid any concerns about future development on the remainder of the site.

I would suggest that the Preliminary Evidence Sheet and Draft Statement of Heritage Significance be modified to delete the assertion that it was one of the first of this style in Australia as this is demonstrably not true.

Additional historic information in the submission could be incorporated in any final Inventory Sheet.

Alf Stephens is significant in the local area as a very prominent developer and Master Builder while the Terry’s and the Snows were prominent both in local society and in Sydney. They all have strong associations with the original house on this site. The site remained substantially intact until 1959 when it was subsided after the death of Sir Sydney Snow.

***Recommended for inclusion as a Local Heritage Item in the Community Heritage Study subject to minor modifications to the Statement of Significance and the clear definition of a curtilage within the larger property boundary. For the benefit of the owners a Conservation Management Plan bringing together a professional assessment and guidelines for future care and maintenance would be appropriate.***

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**Item No. 153**

**Property**      **50 Merrigang Street Bowral**  
                     **'Jubilee Villas' two storey terrace houses**  
                     **Lot 2 Sec 16 DP 976576**  
                     This property is located in an existing Heritage Conservation Area.

Submission objecting to proposed listing as a Local Heritage Item by owner Kym Ingles without specific reason.

The pair of Victorian terrace houses is one of four pairs built by a single family in Bowral and represent a unique building type outside of the main cities of NSW. The building is prominent in the streetscape and in excellent condition demonstrating the early residential development patterns in the part of the town. In the absence of any reasoned argument to the contrary it is appropriately identified as a local heritage item in the Study.

***Recommended for inclusion as a Local Heritage Item in the Community Heritage Study for the reasons outlined in the Preliminary Evidence Sheet.***

**Item No. 164**

**Property**      **116 Merrigang Street Bowral**  
                     **Victorian brick house**  
                     **Lot 1 DP 780802**  
                     This property is located in an existing Heritage Conservation Area.

Objection to proposed listing as a Local Heritage Item by owners Kerrie Butson and Warren Fahey based on previous modifications and additions to the original building. A further submission was made providing information on the previous proposed listing and alterations made to the property.

This property is one of a number of single storey Victorian houses that demonstrate the early development of Merrigang Street in the 1870s and 1880s. The building has been substantially modified with the original simple form modified by the later additions. The building does however provide a Victorian style presentation to the street which compliments the historic character in this part of Bowral. The house was previously identified in the earlier Heritage Study of 2009 and is located within a Heritage Conservation Area.

***Recommended to be excluded as a Local Heritage Item due to the scale of visible alterations to the original form and changes to original details. The building is however 'contributory' to the identified character of the existing conservation area.***

**Item 166**

**Property**      **120 Merrigang Street Bowral**  
                     **'Goldsbrough Law' - Victorian weatherboard house including interiors**  
                     **Lot 3 DP 733864**  
                     This property is located within an existing Heritage Conservation Area.

Submission in objection to proposed Local Heritage listing by owner Jennifer Partington on the grounds of future planning controls.

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This property is one of a number of substantially intact Late Victorian weatherboard houses in Merrigang Street that are representative of the early development of this part of Bowral. The objection to listing appears to be largely relating to possible future planning controls, however the issues raised are generally not the concern of Council in assessing proposed changes to a Local Heritage Item.

The identification of interiors in a Local Heritage listing is contentious and without detailed assessment is not able to be sustained for this property.

***Recommended to be included as a Local Heritage Item in accord with the Statement of Significance and information in the Preliminary Evidence Sheet subject to deletion of any reference to the interiors.***

**Item 171**

**Property**      **142b Merrigang Street Bowral**  
**'Chifley' House including interiors and garden.**  
**Lot 1 DP222568**

This property is not in an existing or proposed Heritage Conservation Area.

Submission in support of the proposed Local Heritage listing by the owner, Rodney Cavalier who also endorsed the Community Heritage Study as a whole.

The Preliminary Evidence Sheet for the property contains a substantial amount of information that while associated with the place is largely irrelevant to its Local Heritage Significance. The modern sympathetic additions have limited heritage value but compliment the original character of the Inter War house and garden.

***Recommended to be included as a Local Heritage Item, in accordance with the first portion of the Statement of Significance. The final statement should exclude all of the extracts from Rodney Cavalier's book which while interesting are not essential to the basic heritage identification of the property.***

**Item No. 195**

**Property**      **7 Oxleys Hill Road Bowral.**  
**Two storey weatherboard house.**  
**Lot 1 DP 878094**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission in support of proposed Heritage listing of property by owners Tony Ameneiro and Maxine Green.

The owners have provided additional information regarding the history of the building originally built in 1887 by R.T. Booth, called 'Mount Rest', it was subsequently used as a Guest House named 'Greentrees' in the 1930's.

***Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study. Additional historic information to be added to the listing.***

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**Item No. 196**

**Property**      **1 Oxley Hill Road Bowral.  
‘Bowral Brickworks’  
Lot 1 DP 1033814, Lot 5 DP 1109992, Lot 1 DP 1053064,  
Lots 11, 12, 13 & 14 DP 1022146, Lot 1 DP 151315.**  
This property is not located in an existing or proposed Heritage Conservation Area.

Submission made by Brickworks Land and Development acknowledging proposed listing and indicating that a Conservation Management Plan would need to be prepared when redevelopment of the site comes under consideration.

The Bowral Brickworks site is of obvious significance as set out in the Preliminary Evidence Sheet in the Community Heritage Study, future management will require negotiation with Council and an assessment of impacts on identified heritage elements of the site.

The Study currently identifies this site as 10 Oxleys Hill Road Bowral which is incorrect and should be modified to reflect the actual site of the Brickworks.

***Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study. Correct identification of the site to be included in the final listing. Future development of the site to be subject to the preparation of a Conservation Management Plan.***

**Item No. 225**

**Property**      **17 St Jude Street Bowral  
‘Anenbo’ - Brick bungalow on trachyte foundations.  
Lot 10 Sec C DP 11838**  
This property is in an existing Heritage Conservation Area.

Submission in objection to the proposed Local Heritage listing of the property by the owner Annabelle Wentworth on the basis of incidental and insignificant values identified in the Preliminary Evidence Sheet and Statement of Significance contained in the Community Heritage Study.

This property is the only substantially intact example of a group of four speculative built houses, identified as ‘The Wilton Homes’ erected in the mid 1920s following the subdivision of the Glebe Estate. It is a good representative example of interwar bungalow design purported to be associated with the architect F. H. B. Wilton of Sydney and built by James T Turner. It is representative of the Interwar suburban expansion of the town of Bowral facilitated by the 1921 subdivision of the St. Jude’s Glebe Estate.

The Heritage Significance Assessment in the Community Heritage Study fails to justify the buildings historic significance, associations or rarity, nevertheless the property has a reasonable degree of aesthetic significance and strong representative heritage value as a good and substantially intact interwar bungalow design set on its original site

***Recommended to be included as a Local Heritage Item subject to changes to the Preliminary Evidence Sheet and Statement of Significance to limit the significance to those values that can be clearly established and to avoid unsubstantiated or inconsequential associations etc.***



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**Item No.233**

**Property 48-50 Station Street Bowral  
Victorian Terraces  
Lot 1 DP 1064286**

This property is located in a proposed Heritage Conservation Area.

Submission in objection to the proposed Local Heritage listing of the property made by owner George Lawrence indicating levels of change to the original building fabric and financial implications for any future sale or use of the buildings for commercial purposes.

The pair of Victorian terraces in Station Street is representative of a small number of buildings of this form built in Bowral in the 1880s by one family. Terrace houses provided an opportunity to increase the value of smaller lots by providing two dwellings. This process is most commonly seen in larger country towns and in the major cities. The buildings in Station Street have a strong visual presence in the streetscape and maintain their original built form and detailing despite some changes to the rear. They are clearly capable of residential or commercial uses as can be seen in the use of the other terraces in the town.

***Recommended to be included as Local Heritage items with the adoption of the Statement of Significance in the Community Heritage study modified to delete the words “ beauty of its setting” and refer only to its distinctive form.***

**Item No. 239**

**Property 10 Westwood Drive Bowral  
'Westwood' and 'Annesley' - buildings and gardens at Annesley Retirement Village  
Lot 1 DP 1097251**

This property is located within an existing Heritage Conservation Area.

Submission from the management of Annesley, Keyton Holdings Pty Ltd. concerned that the proposed Local Heritage listing may have adverse affects on the operation of the village and the potential safety of the residents. The submission requests clarification of exemptions for minor works and a consultation process for future issues with Council Planning staff.

The buildings are high quality, architect designed institutional structures for which appropriate research and assessment has been made identifying a number of local heritage values that support their listing in the Community Heritage Study.

An appropriate curtilage for the heritage structures could be provided in any future Conservation Management Plan for the site.

***Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study Statement of Significance. Appropriate reduced curtilage to be established.***

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**BUNDANOON**

**Item No. 256**

**Property**      **10 Anzac Parade, Bundanoon**  
**'Midenhall' weatherboard cottage including interiors.**  
**Lot 11 DP 129077**

This property is located in an existing Heritage Conservation Area.

Submission by owners Paul and Sylvia Sant objecting to the Local Heritage listing of the property as in their opinion it does not meet thresholds for inclusion and would result in unreasonable constraints of future development. In their opinion the construction date from the interwar period does not qualify for heritage identification, proposed additions and alterations have been submitted to Council for consideration, lack of appropriate repair and maintenance has resulted in damage to the interiors and additional costs would result from the proposed listing.

The building is substantially intact and capable of demonstrating the heritage values identified in the Community Heritage Study and the strong local theme of 'tourism' associated with boarding houses in Bundanoon. Maintenance of the building is required irrespective of the proposed heritage identification and this work would not result in additional costs over normal ongoing care of the building fabric.

***Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study Statement of Significance.***

**Item No. 260**

**Property**      **38 - 40 Church Street Bundanoon (38 Gullies Road Bundanoon)**  
**'Eastdene' - Late Victorian House and Garden**  
**Lot 1 DP 838630**

This property is not in an existing or proposed Heritage Conservation Area.

Submission in objection to the proposed Local Heritage listing of the property by The Directors of Bundanoon Capital Investments citing inaccuracy in the historical research information in the Preliminary Evidence Sheet and questioning the heritage value of the house and garden. They also raise financial implications of the future maintenance of the house and gardens which form part of a business operation related to cattle breeding.

The information in the Preliminary Evidence Sheet is sketchy and unsupported by detailed historical research. The owners question the identification of the original owner as A.E. Slatter and its' identification as 'Wonga Rua', a house previously occupied by the Wood family till 1902 and used as boarding accommodation for tourists to the area.

The historic photo in the study is clearly the same house as that in the study, though a large room has been later added to the side facing the tennis courts. It is typical of Late 19th century design and is probably correctly dated to the late 1880s / early 1890s. While the house sits on an area of some 100 acres, the garden setting is located around the existing building and includes both formal areas and significant tree plantations. Large additions at the rear do not detract from the principal presentation of the house in its setting.

A submission by Mr Denis McManus has provided some further research regarding the property as follows:

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"The house and property known today as Eastdene, off The Gullies Road, and first called Henderley, was built in 1894 as a private residence for Mr & Mrs Copeland Bennett. Mr Bennett, who was born in 1842, was previously the Station Master at Bowral.

*The Bowral Free Press of 14 February 1894 reported on Mr Bennett moving to Bundanoon from Bowral: "We are in the way of again suffering a distinct loss by the removal from our midst of a worthy and useful citizen. Mr. Copeland Bennett has taken a house at Bundanoon from March 1st, and is setting brickmakers at work for the erection of a house on his own estate in that neighbourhood. Mr. Bennett has been among us seventeen years this month. In his position as a public servant he was a friend to many as well as faithful in his duties. He has also taken his share of public work and personal responsibility. He has filled from time to time such positions as the following-Hon. Lay Reader and Churchwarden, President of the Church of England Temperance Society, Vice-President of the same ; Parochial Nominator of the Church of England ; Superintendent of the Sunday School ; and trustee of the cemetery. He was also associated with Dr. Newmarch in the conception and initiation of the Cottage Hospital, and has for a long time been hon. sec., which position he still holds. He has been President of the School of Arts, Secretary of the British and Foreign Bible Society. Was founder of the Bowral Brass Band, and holds a Commission of the Peace. Mr. Bennett has always been willing to identify himself with those things which promised benefit, to the town. and. seemed for the good of the people. No higher encomium upon his work is needed than the assurance that we shall miss him. He will not be so far away however as to be lost to sight altogether occasionally."*

*The house was designed by Sydney Moore Green 1846-1912, Architect, of Parramatta as confirmed by this Tender Notice from the Bowral Free Press of 30 May 1894:*

*"To Masons, Bricklayers, Carpenters, Joiners, Plumbers, and Plasterers are invited for the LABOUR portion in connection with above trades required in the erection of a COTTAGE RESIDENCE at BUNDANOON for Copeland Bennett, Esq. Plans and Specifications may be seen at the residence of COPELAND BENNETT, Bundanoon, or S. M. Green Architect, Parramatta."*

*Sydney Moore Green was the architect for the 1891 house that became known as Willow Vale in Parramatta demolished in 2021 by the NSW Government to build the new Parramatta Power House.*

*Copeland Bennett took a very active part in Bundanoon affairs, unusually in both the Primitive Methodist and Church of England congregations. He was also a member of the Progress Committee and the Cricket Club, and was the chief representative of Bundanoon village in trying to open a good road passing his property to the Gullies.*

*Copeland Bennett was also instrumental in having trains stop at Bundanoon to facilitate tourism.*

*Copeland Bennett decided to advertise the property for sale in September 1901. However, advertisements for Wonga Rua as a guest house had started in 1900. And a sale of the Household Goods of Mr O.H.Woods who was leaving the district was held there on 8th May 1902. In December of the same year Mrs C. Widdon advertised Wonga Rua as a "superior home for visitors, terms on application."*

*From 1903 Mr Archibald Edward Parke Skinner and his wife, Sarah, who had been graziers in Walgett, owned the house and it was then named 'Eastdene'. Managers for the Skinner family over the years included Ian McLaurin Smith (1942-56) and Herbert Taylor (1957-61).*

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*'Eastdene' also advertised for a short time (1930-31) as 'Astley Hall Guest House' was operated by George Orenshaw Part. However, the main purpose of Eastdene was always as a productive farm, as is the case today under its current owners.*

*References for the above: Research from Caroline Cosgrove and Guest Houses in Bundanoon, Bundanoon History Group Inc., 3rd edition, 2012, pp. 59-60 and from Dennis McManus. Ryerson Index*

***Recommended to be included as a Local Heritage Item as a good representative example of a large, late 19th century residence and mature garden on a substantial rural estate which demonstrates significant local heritage value and evidence of the early development of Bundanoon, local tourism and livestock management. The Statement of Significance accurately represents these aspects of the site. It is recommended that further detailed research be undertaken to support the listing and to assist in defining an appropriate curtilage for the house and garden.***

**Item No. 264**

**Property      13-33 Ellsmore Road Bundanoon  
Quest for Life Centre including garden and 'Killarney House'  
Lot 8 DP 833392**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission in support of proposed Local Heritage listing of property by owner Petrea King.

***Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study. A detailed physical curtilage is to be determined to limit future planning control intervention on the site.***

**Item No. 273**

**Property      30 Heritage Drive Bundanoon  
Former Greason's Abattoir - slaughterhouse remains  
Lot 217 DP 1262120**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission in opposition to the proposed Local Heritage listing of the structure by Roberto Polistina concerned at the dilapidated and potentially dangerous state of the existing structure and the associations with 20th century meat production techniques. He recommends interpretation of the site rather than stabilisation and conservation of the existing structure.

The current approved multi lot subdivision and future construction of houses will significantly reduce the visibility of the slaughterhouse structure from the road and will separate not from any rural context that it once formed part of. The structure itself seems capable of repair and consolidation but its ability to demonstrate its original use and as part of a larger operation would require substantial interpretive measures.

***Recommended to be excluded as a Local Heritage Item in the Community Study for reasons of its current semi ruinous physical condition and total loss of context following***

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*subdivision of the site for residential development. It is however recommended that the structure be fully recorded by drawings and photographs and the material lodged with local collections and that additional interpretation material be installed to illustrate the earlier character and use of the site.*

**Item No. 274**

**Property 12 - 16 Hill Street Bundanoon  
St. Brigid's Catholic Church  
Lots 13 - 15 Sec 4 DP1510**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission in opposition to the proposed Local Heritage listing of the property was made by Father Marek Dutkiewicz on behalf of St Paul's Catholic Parish on the basis of the church's modest proportions and the number of alterations made to the building.

St Brigid's Catholic Church has significant historical associations with local Catholic families and is a good representative example of a small country church with simplified 'Gothic' details including a small rose window in the lower porch structure and pointed arched panels in the main gable. The church has a substantial setting of open lawn and mature trees.

***Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study for the reasons as set out in the Community Heritage Study for the reasons set out in the Statement of Significance.***

**Item No. 275**

**Property 9 Panorama Avenue Bundanoon  
'Emerson Grove' house, barn and garden. 1938  
Lot 38 DP 1097706**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission in opposition to the proposed Local Heritage listing of the property was made by the owners (name withheld) on the basis of lack of process and consultation and potential affectation of rights as property owners including additional regulation and associated costs.

This house and its remnant garden setting and the attached earlier timber barn demonstrate changes in architectural design in the interwar period adopted by a local builder. The building has retained its original character and to a degree the mature landscape setting for which it was once well known. The barn is typical of late 19th century structures which while once relatively common are now becoming rare. In my opinion this property is appropriately identified as having good representative qualities for Local heritage values identified in the study. Due to the reduction of the site it no longer is capable of representing the original owners interest in bulb plantations or the earlier orchard uses.

***Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study Statement of Significance subject to deletion of the words "He designed and worked on the garden himself planting about 20,000 tulips and was possibly one of the first in the Highlands to do so. He imported bulbs from Holland and also grew hyacinths and***



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*daffodils and had a lilac plantation in one area”, for the reason that this is no longer apparent on the site and is of historical interest only.*

**Item No.278**

**Property 74 - 78 Penrose Road, Bundanoon  
Former ‘Bellevue Park’ Guest House  
Lots 1 & 2 DP130118**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission objecting to the proposed Local Heritage listing of the property by owners Shane and Tahnia Fahey on the basis of some incorrect information in the Preliminary Evidence Sheet relating to the history of the site and because of the substantially modified state of the building following its conversion back to a single residence following earlier Boarding House use and Group Home accommodation.

Parts of the current building reflect its earlier form as referenced in the historic photos in the study, however changes to cladding and fenestration and demolition of parts of the rear have severely diminished the aesthetic value of the property as a representative early interwar home and boarding house complex. Unfortunately the property is not located in a Heritage Conservation Area and future planning controls to protect surviving character are limited.

***Recommended to be excluded as a Local Heritage Item in the Community Heritage Study because it has very limited ability to demonstrate its past appearance and use or the associations with previous owners.***

**Item No. 284**

**Property 159 Railway Avenue, Bundanoon  
“Spring Hill” formerly ‘Lydholme Farm” House & Garden  
Lot 2 DP304969**

This property is not located in an existing or proposed heritage Conservation Area.

Submission by Caroline Cosgrove on behalf of the Bundanoon History Group providing additional material on stone structures related to the site that are purported to have been constructed by Italian Prisoners of War.

This is an important example of the work of architect, James Peddle and the direct influence of American Californian Bungalow style architecture on an Australian country house for a prominent merchant. A substantial amount of information directly links this house to Peddle’s Pasadena experience and the works of Green & Green architects. It remains substantially intact on large rural estate.

***Recommended to be included as a Local Heritage Item in the Community Heritage Study for the reasons set out in the Preliminary Evidence Sheet and Statement of Significance. The listing to include the sandstone entry gates and tree lined avenue. Further information on this site may be available from the PTW archives in Sydney.***

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**BURRADOO**

**Item No.287**

**Property 1 - 3 Ridge Park Road Burradoo  
'Harby Park' House & Garden  
Lots 1 & 2 DP 79951 & Lot 1 DP 119043**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission seeking clarification of an appropriate curtilage for the 'House & Garden' made on behalf of the owners by Brian McDonald of DFP Planning consultants.

This is a large rural site where the principal area of interest for the proposed heritage listing is the house, gardens and views to and from the surrounding rural landscapes. Having reviewed the submission I agree that a reduced curtilage is appropriate for this site and that the one proposed in the submission should be adopted for the proposed description in the final submission.

***Recommended to be included as a Local Heritage Item in the Community Heritage Study with the inclusion of the proposed defined reduced curtilage set out in the submission by DFP Planning.***

**Item No. 289**

**Property 7 Links Road Burradoo  
'Yellba' - Interwar House  
Lots 3 - 6 DP 12141 & Lot 1 DP 329111**

This property is located in a proposed Heritage Conservation Area.

Submission objecting to the proposed Local Heritage Listing by Megan Jones, Architect on behalf of owners Richard and Ceinwen Lennox on the basis of inadequacy of the information provided and insufficient merit for individual listing.

The house is a good representative example of Inter war design being a restrained version of what is commonly termed a 'Californian Bungalow' Changes made in the 1930s are recessed and present as part of an integrated whole when viewed from the public domain. The presentation is enhanced by the substantial landscaped setback from the street frontage. Nothing in the proposed listing information suggests anything but that the house was developed in the interwar period. The differing subdivision pattern associated with this site does not detract from its obvious contribution to the character of this significant streetscape. When undertaking the study a number of interwar bungalows were identified for their representative values as well as associations with owners and designers, these have also been identified for local heritage listing. No 7 Links Road is a very good representative example of this form of development and is complementary to the identified significance of this street.

***Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study. Additional information provided by the owners should be added to the Preliminary Evidence Sheet.***

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**Item No. 315**

**Property**      **11-29 Railway Parade, Burradoo**  
**'Elvo' (within Oxley College) including interiors, immediate garden setting and oak tree.**

**Lot 14 DP 976910**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission on behalf of Oxley College by DFP Planning Pty Ltd advising that some of the information in the Preliminary Evidence Sheets regarding substantial changes to the historic landscape setting of the former house and a desire to limit any listed curtilage for the place.

The Study has included information from earlier studies that has been superseded by later development following the establishment of Oxley College and construction of new structures and landscape elements adjoining the original house. The Assessment of Heritage Values and the Statement of Significance refer to garden designs by Ernest Burchell that have been substantially eliminated and are not therefore demonstrable.

The College acknowledges the historic, social and aesthetic values associated with this place and seeks to engage with Council on further definitions of planning controls. Because the College occupies a large site which includes the item it needs to be identified by its legal lot definition, however the definition of a curtilage within the larger site that protects the former house and an open area containing the remaining historic oak tree is appropriate.

It would be best for the College to commission a Conservation Plan of Management to establish such a curtilage and to provide guidelines for continued care and maintenance of the built fabric.

***Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study subject to alteration to the Heritage Assessment and Statement of Significance to remove the words "beauty of its setting, garden associated with the Late Victorian gardener Ernest Burchell"***

**Item No. 316**

**Property**      **1 Riversdale Avenue Burradoo**  
**'Polo Cottage' Prefabricated timber shingle house and garden (one of four)**  
**Lot 45 DP 976910**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission objecting to proposed Heritage listing by owner Diana Bradhurst relating to degrees of intactness of the building fabric and affectation of property values. Further information including internal photographs were submitted by the owner indicating modern renovations.

The significance of this property is not only its association with the establishment of the Bowral and Moss Vale Recreation Club in the 1890s but also its aesthetic value and connection with a group of similar buildings designed and built at the same time. While further investigation may provide evidence of the design and construction of the cottages, this is not essential for the identified heritage values that they represent as local heritage items. Modifications undertaken to the house have not permanently degraded its historic or aesthetic characteristics or its potential to demonstrate a significant aspect of the communities development. The Southern Highlands was an important destination for prominent members of society in the late 19th and early 20th centuries and the establishment of a number of recreational facilities in the area including Polo fields demonstrates an important heritage theme in the development of the Shire.

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*Recommended to be included as a Local Heritage Item as identified in the Community Heritage Study and identified as part of a significant group of similar properties. The issue of the origin of the buildings and their design should be removed from the Statement of Heritage Significance.*

**BURRAWANG**

**Item No. 322**

**Property      45 Church Street Burrawang  
                    St Peter's Catholic Church & Cemetery  
                    Lot 1 DP 903389**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission made objecting to the proposed Local Heritage listing of the property by Father Marek Dutkiewicz on behalf of the St Paul's Catholic Parish by reason of substantial changes made to the early building in the 1980s on the street frontage, the re-cladding of the building and alterations to the fenestration.

Notwithstanding changes made to the church it reflects the original and continuing connection with local Catholic families. The Cemetery in particular is a record of local families and their support of this church.

Any heritage recognition of the site should clearly indicate the level of alteration to the original modest timber framed weatherboard structure providing guidance for future adaptation and use.

*Recommended to be included as a Local Heritage Item in the Community Heritage Study for its historical and ongoing associations with the Catholic community and for the significance of the cemetery in providing historical evidence of the use of the site since it was established. The Integrity comment should be altered to read "Sympathetically modified from its original Form and detail. The Statement of Significance should delete the wording "The church demonstrates the principal characteristics of a very modest timber, Late Victorian era Gothic Church with later additions." This aspect of the site has been substantially eroded by later additions.*

**Item No.326**

**Property      4-6 Hoddle Street Burrawang  
                    Former Post Office and residence.  
                    Lot 1 DP 986016**

This property is located within an existing Heritage Conservation Area.

Submission objecting to proposed Heritage listing by owner David Platt relating to perceived levels of heritage significance and doubt relating to former use as a Post Office.

This property is a good representative example of early 20th century development in the main street of Burrawang and has previously been identified as having heritage values to the village. The veracity of the association of the place with postal communications in the mid 20th century needs to be further researched before any social significance is ascribed to it, however it does

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demonstrate representative value for aesthetic qualities as a class of buildings contributing to the local area's distinctive main street character.

Although inclusion within the established Heritage Conservation Area provides some protection to these qualities, the building warrants individual heritage listing.

***Recommended to be included as a Local Heritage Item as a representative example of a bungalow that contributes to this significant streetscape. Without further research the inclusion of material relating to its potential use as a Post Office should be deleted from the Preliminary Evidence Sheet in the Community Heritage Study.***

**Item No. 330**

**Property** 25 - 27 Hoddle Street Burrawang  
Former 'Scarlets' General store  
Lot 10 Sec 1 DP 1992 & Lot A DP388182

This property is located in an existing Heritage Conservation Area.

Submission in objection to heritage listing by owner Impak Australia Pty Ltd per Sandra Maloney giving no reasons for the objection.

***Recommended to be included as a Local Heritage Item in the Community Heritage Study for the reasons as set out in the Statement of Significance.***

**EAST KANGALOOON**

**Item No. 334**

**Property** 1970 Kangaloon Road, East Kangaloon  
"Pheasant Hill" and outbuildings.  
Lot 12 DP 1002097

This property is not located in an existing or proposed Heritage Conservation Area

Submission in objection to proposed heritage listing made on behalf of owners Heather & Julieanne Alcorn by Lovegrove & Cotton Lawyers supported by report prepared by Heritage Solutions. The submission raises a wide variety of reasons for objection including the position that the current assessment in the Community Heritage Study is an over assessment of the heritage value to the Wingecarribee community and would have detrimental impacts on the owners in terms of any financial obligations to maintain or conserve the property. The objection also questions the validity of the research in the study and the ability of the place to demonstrate heritage values as a result of changes over time and lack of visibility from the public domain.

The submission seeks to underplay any potential 'local' value that the place possesses for the community by adopting exclusion criteria that are easily applied to almost any property.

The submission also makes comment on the identification and listing of Heritage Conservation Areas. It should be noted that the site is not in an existing or proposed Heritage Conservation Area.



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It is recognised that the property while intact does not contain structures that are pristine from its original establishment. The submission provides copious evidence of the 'evolutionary' changes to the place that have occurred over time.

I consider however that this property is capable of demonstrating a moderate level of 'Historical Significance' to the specific documented history of the local area because it clearly illustrates the initial development of East Kangaloon from its earliest settlement in 1862 following land releases in the area under the Robertson Land Act of 1861 and the early establishment of dairying there.

I also consider the property demonstrates a degree of local 'Associational Significance' with the original land holder Robert Alcorn and many subsequent members of the Alcorn family extending to the present day. This family was of some prominence in the relatively small local rural community and the earlier members of the family were well known in the Methodist Community of which they were part.

These aspects of the place's history and associations are adequately documented by the family's own detailed historical research and the document on the History of Dairying in the Southern Highlands provided with the current submission.

I do not consider that the place holds a high degree of significance for Criteria (c), (d), (e) or (f) but is rather a representative example of early dairy farming activity reflecting a common history with a group of similar properties in the local area which are clearly part of a larger 'Cultural Landscape' that is significant for an understanding and appreciation of the Kangaloon / East Kangaloon area and contributes to the established cultural values of the region.

***Recommended that the item be deferred for further investigation and not be included at this time in the final list for submission to Gateway Approval by reason of the numerous points of disagreement between the Community Heritage study and the owners in relation to the level of significance ascribed to the place.***

**EXETER**

**Item No. 341**

Property      **2 Bundanoon Road, Exeter**  
                    **'Village Pump Antiques'**  
                    **Lot 100 DP 529240**

This property is located within a proposed Heritage Conservation Area.

Submission objecting to proposed Heritage listing by owner John Lane, relating to integrity of the current building fabric.

Despite subsequent repairs and maintenance, this building substantially retains its original form and character and is a prominent local landmark in the village of Exeter. It reflects the inter-war development of the village and the expansion of vehicle use during this period. The building is to be included in a proposed Heritage Conservation Area in the current study.

***Recommended to be included as a Local Heritage Item in the Community Heritage Study for the values identified in the Preliminary Evidence Sheet.***

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**Item No. 351**

**Property**      **Jensen's Lane, Exeter**  
**Former Jensen's Nursery, cottage and garden**  
**Lot 2 DP 1139319**

This property is located in a proposed Heritage Conservation Area

Submission objecting to proposed Heritage listing by owner Margaret Hibbert on the basis of inaccurate information regarding the site.

This property is not able to be viewed from the public domain due to dense boundary planting. The owner has indicated to Council that the original extent of the property was subdivided and that a new house was built on the smaller site. There is no available evidence that this incorporated the original cottage or that significant aspects of the former nursery remain on this lot. This property could be of some Representative significance as one of the substantial nursery developments in the region and for its association with the original owners if substantial aspects of this associations were present on the site. The property is located within the proposed Exeter Village Heritage Conservation Area and a substantial body of information regarding the original owners and their activities in horticulture surviving in public collections.

***Recommended to be excluded from the Community Heritage Study as a local Heritage Item on the basis of insufficient evidence relating to the current physical extent and state of the property provided in the study or available from the public domain. Some planning protection provided by inclusion in the proposed Heritage Conservation Area.***

**MITTAGONG**

**Item No. 398**

**Property**      **25 Arthur Street, Mittagong**  
**St Jose including interiors**  
**Lot 33 Sec C DP20**

This property is located in an existing Heritage Conservation Area.

Submission by the owner Ms Foley generally supporting Heritage Conservation measures undertaken by Council but raising questions as to the accuracy of the Preliminary Evidence Sheet and Statement of Significance.

There are a large number of properties identified in the study where Real Estate information has been included to support the listing. This is not an acceptable form of research on which to base factual evidence and should generally be ignored except as evidence of earlier conditions of a place. Real Estate language in particular is unreliable for evaluating heritage values and should not be relied on for this purpose.

St Jose is a significant remnant of the early development of Mittagong and for its association with the Catholic Church through the Sisters of St Joseph. While there are changes to the place it retains much of its original form and character

The identification of interiors as part of the listings of Local Heritage Items is particularly contentious, especially if no formal inspection or research on these has been undertaken.

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

***Recommended to be included as a Local Heritage Item with the following modifications to the Preliminary Evidence Sheet and Statement of Significance. Delete rarity evaluation associated with the upper floor interior and reference to the 'beauty' of the setting. Remove the sentence "The place also possesses a rare aspect of the local area's heritage in this case an intact painted interior finish to the upper floor which was there from the 19th century." Modify the description to remove reference to including interiors.***

**Item No. 401**

**Property      8 Camellia Place, Mittagong  
                    'Nattai Lodge'  
                    Lot 1 DP 1190475**

This property is located in an existing Heritage Conservation Area.

Submission objecting to proposed Heritage listing from owner Matthew Drake on the basis of the inability of the current built fabric to demonstrate original or significant features and questioning any significant historical associations with important persons or events.

This property has undergone substantial modifications from its original form and detail over many decades and apart from a general resemblance to the original building outline has no integrity as an exact example of a Late Victorian house. Its associations with a substantial number of owners and short term occupations by people of some note is insufficient to warrant heritage significance at Local level. The property is already included in a Heritage Conservation Area that provides a degree of planning control over future development.

***Recommended to be excluded from Local Heritage listing in the Community Heritage Study as a result of its inability to accurately demonstrate the heritage values identified in the Preliminary Evidence Sheet and Statement of Significance.***

**Items 404 & 405**

**Property      2 & 4 Edwards Lane Mittagong  
                    2 cottages part of a group of 4  
                    Lot 2 and Lot 3 in DP 405669**

These properties are located in an existing Heritage Conservation Area.

Submission on behalf of the owners of both properties was made by James Phillips of Weir Phillips Heritage Planners providing an opinion that neither house reaches thresholds for inclusion as a Local Heritage Item due to changes to the buildings and their setting as well as the loss of historic relationships with the former coach building activities on the adjoining site. The submissions identify some level of heritage value for the reasons identified in the Community Heritage Study and their ability to contribute to the existing Heritage Conservation Area.

Both cottages retain their simple form which reflects the evolving history of Mittagong in the late 19th century. Both are capable of enhancement through reinstatement of verandah details and improved landscaping. The pair are of more significance together than they are individually and compliment the other heritage structures located across the lane. Together these form a significant remnant of the evolving development and character of Mittagong in the 1880s. The buildings have relatively low aesthetic value but are representative of a class of development that supported the growth of the town in the late 19th century.

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

***Recommended to be included as items of Local Heritage Significance for the reasons identified in the Community Heritage Study subject to removal of the reference to their being of significance for “demonstrating aesthetic achievement for the beauty of its simple architectural form.”***

**Item No. 413**

**Property      18 - 20 Hillside Close, Mittagong  
                    ‘Hillside Park’  
                    Lot 12 DP 861 292**

This property is located within an existing Heritage Conservation Area.

Submission by the owner providing a detailed title chain of ownership and subdivision etc. The house is an early building in the eastern part of Mittagong, erected for a partner of the Real Estate firm Richardson & Wrench, Mr Alexander Gregg and his brother James Gregg in 1895 and occupied by their widowed sister Christina Parkinson. The house is substantially intact though the original site has been subdivided. And additions have been made to it

***Recommended to be included as an item of Local Heritage Significance for the reasons identified in the Statement of Significance in the Community Heritage Study. Additional information provided in the submission to be added to the Preliminary Evidence Sheet.***

**Item No. 442**

**Property      1 Queen Street, Mittagong  
                    ‘Hamilton’  
                    Lot B DP 979880**

This property is located within an Existing Heritage Conservation Area.

Submissions by owner Mr Hirst requesting that this property not be listed as a Heritage item.

This modest symmetrical Victorian weatherboard house is one of a group of three similar buildings identified as having been built by John White in about 1884 that for a highly significant heritage streetscape in Queen Street that is representative of the development of Mittagong and shows the principal characteristics of a class of the local area's heritage. Modifications made to the properties have not affected their ability to demonstrate these heritage values. The site is located within the existing Mittagong Conservation Area.

***Recommended to be included as a Local Heritage Item in the Community Heritage Study for the reasons identified in the Preliminary Evidence Sheet.***

**Item No. 440**

**Property      10 Pioneer Street, Mittagong  
                    Stone Cottage  
                    Lot 2 DP 501309**

This property is located in an existing Heritage Conservation Area.

Submission by owners LC and SJ Vale objecting to the proposed Local Heritage listing of their property because of errors in the Preliminary Evidence Sheet and providing a detailed history and description of the house. Their objection does not suggest the place is not of Local Heritage value.

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Notwithstanding elements of difference between the Preliminary Evidence Sheet and the owners information, the property is clearly a good representative example of the 1880s development of Mittagong in Pioneer Street and compliments other stone cottages located there. The owners should be congratulated for the current state and presentation of the cottage and for the historic information they have gathered.

I note that the Statement of Significance which is the statutory statement for future reference does not include reference to the later additions or the garden which are not relevant to the significance of the place. Any reference to 'decorative lace work' should be deleted.

The preliminary evidence Sheet should be modified accordingly with the new information provided by the owners incorporated for future reference.

***Recommended to be included as a Local Heritage Item in the Community Heritage Study for the reasons identified in the Statement of Significance. Amendments to be made to the Preliminary Evidence Sheet in conformity to additional information from the owners.***

**Item No. 453**

**Property      5 - 7 Webb Street Mittagong  
                    'Woodbridge' and garden  
                    Lot 6 DP 600529**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission in objection to the proposed Local Heritage listing of the property made by Gary Barnsley and Neridah Barnsley for the following reasons, housing shortage in NSW, authoritarian actions of Council, the wide scope of the Community Heritage Study, the financial impact of listing and a number of incorrect statements contained in the Preliminary Evidence Sheet and Statement of Significance for the property.

Insufficient information has been provided to allow an accurate assessment of the veracity of the Preliminary Inventory Sheet. Inspection of the property is not possible from the public domain.

***Recommended to be deleted from the final heritage list on the basis of insufficient evidence to establish Heritage values associated with the site.***

**MOSS VALE**

**Item 455**

**Property      Argyle Street, Moss Vale  
                    Cottage Distribution Electrical Substation  
                    Lots 1 & 2 DP1070183**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission by Simon Lawton of Endeavour Energy objecting to the proposed listing of the former Sub Station building because it has limited potential for future adaptive re-use and is unsafe due to its proximity to the road alignment. Endeavour Energy intend to dispose of the site.



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The building has significant heritage value and is a landmark in this part of the town. Consideration of future uses or adaptation has not been assessed and there is no reason to consider that a future use could not be achieved while retaining the distinctive architectural character of the pavilion. Unless significant road widening is proposed in this location, the proximity to the road reserve is not an impediment to a suitable future use. Redevelopment of the adding land should carefully consider retaining the visual prominence of this structure and enhance the entry to the town centre.

***Recommended to be included as a Local Heritage Item for the reasons identified in the Preliminary Evidence Sheet of the Community Heritage Study and in accordance with the Statement of Heritage Significance.***

**Item No. 459**

**Property 181 Argyle Street, Moss Vale  
Interwar House and Garden  
Lot 1 DP 509727, Lot 28 DP 1134240, Lot 29 DP 1134240, Lot 30 DP 1134240**  
This property is not located in an existing or proposed Heritage Conservation Area.

Submission providing additional evidence of the date of construction and occupation of this house provided by Narelle Bower granddaughter of the original owner. The house is a good and intact 'typical' example of interwar design constructed by prominent local builder Alf Stephens for one of the managers at the local cement works.

***Recommended to be included as a Local Heritage Item for the reasons identified in the Preliminary Evidence Sheet of the Community Heritage study and in accordance with the Statement of Evidence. Additional historic information to be added to the listing.***

**Item No. 468**

**Property 480 - 486 Argyle Street, Moss Vale  
Two Storey Victorian terrace shops  
Lot 2 DP712927**  
This property is located in an existing Heritage Conservation area.

Submission in objection to Local heritage listing made by owners Joan Vandal and Sam Calandra on the basis of the substantial changes made to the buildings and their presentation to Argyle Street that detract from the original form and presentation of the buildings to the street.

No.480 has no apparent heritage qualities and is a mundane infill development adjoining the original structure which was constructed as a stepped pair of late Victorian shops with residences over. As with many buildings on this major road, the deep posted verandahs have been removed exposing the facades which still show French doors on the first floor.

Even without the cast cement finials, the upper facade provides a degree of connection with the streets former Late Victorian Character and some form of protection of these elements would be positive for the Heritage Conservation Area. The listing of facades is not however recommended and in this situation their contribution can be adequately protected by the existing area controls. It is unlikely that reconstruction of the original form of the deep verandahs or ground level shopfronts would ever take place.

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*Recommended to be excluded from the Community Heritage Study for the reason that their representative value is now highly compromised and their limited visual contribution to the streetscape above awning level is already recognised in the designation of the Heritage Conservation Area. Future reinstatement of parapet level finials would enhance their contribution.*

**Item No. 470**

**Property**      **538 Argyle Street Moss Vale  
Single Storey Commercial Building  
Lot 1 DP 1234038**

This property is located in an existing Heritage Conservation Area.

Submission by owners Green Jeza Pty Ltd, Rebeca Duffy of Doing Duffey Accountants refutes some information contained in the Preliminary Evidence Sheet for the property.

On close examination of the street facade it is clear that the two adjoining buildings were built at different times and I have no reason to refute the two dates provided by the historian who provided the information for the study.

The subject building and its later neighbour are fairly typical of 'Late Victorian' commercial development, which would be more apparent if the cast cement finials and original ground level shopfront details were intact. It is clear that the elements used in both buildings are similar and that the difference is in regard to scale. They are not 'high style' designs but are more typical of suburban and rural areas where design input was limited or carried out by artisans.

The 2009 description of the building as being '*substantial*' is an overstatement that is not repeated in the current inventory. In the same way the description of the builder as being '*outstanding*' is not necessarily warranted in the Statement of Significance unless further investigation indicated this.

These buildings do however represent a visually prominent surviving component of early commercial development on Argyle Street that is part of the Heritage of the area. The loss of other structures from this early period add to the necessity to provide some protection to surviving built fabric that illustrates the early development in this location.

*Recommended to be included as a Local Heritage Item for the reasons identified in the Preliminary Evidence Sheet of the Community Heritage Study. Future consideration should be given to a more sympathetic awning treatment and replacement of lost parapet level details.*

**Item No. 473**

**Property**      **568 Argyle Street Moss Vale  
Moss Vale Uniting Church and Hall  
Lot 4 DP 880538**

This property is located in an existing Heritage Conservation Area.

Submission objecting to the proposed listing as a Heritage Item from The Moss Vale Uniting Church Council. The Council object to the listing of any of their properties within the Shire but have given no reason for their objection.

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

This group of buildings is typical of late 19th century and early 20th century, Non Conformist Church architecture on a prominent corner location. Churches are a focal point of community activity and are generally associated with a wide range of members who played significant parts in the evolving development of the local area. The current assessment accurately assesses the place to have local Heritage value for the town of Moss Vale in common with the other ecclesiastical complexes within the town. Built in several stages the complex nevertheless demonstrates a unified architectural character and is associated with prominent Methodist architect Alfred Newman.

***Recommended for inclusion as a Local Heritage Item in the terms set out in the Preliminary Evidence Sheet contained in the Community Heritage Study.***

**Item No. 486**

**Property      38 Chapman Avenue Moss Vale  
Federation Cottage  
Lot 4 DP 8915**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission objecting to the proposed listing as a Heritage Item made by Ian & Margaret Pilgrim on the basis of substantial modifications and additions to the original house.

The current house fabric is modified from the image in the study and has only limited aesthetic value for representative aspects of early 20th century residential design. There is no identifiable significance associated with previous ownership patterns. While it might be considered to be contributory to the streetscape in a Heritage Conservation Area it is not considered to have individual heritage significance.

***Recommended to be excluded as a Local Heritage Item in the Community Heritage Study by reason of the substantial modifications undertaken since it was originally identified in 2009.***

**Item No. 492**

**Property      6607 Illawarra Highway Moss Vale  
Misty Hill - weatherboard cottage  
Lot 2 DP 513113**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission from owner Jarred Danaher to proposed listing as a Local Heritage Item by reason of existing building defects and potential costs of future repairs and maintenance.

The property demonstrates obvious heritage value in its built form and in the landscape setting on a rural location at the edge of Moss Vale. The defects identified in the building fabric are typical for a building of this age and construction and are substantially due to continued neglect rather than intrinsic inferior construction. The necessary repairs are required irrespective of the proposed heritage listing.

***Recommended for inclusion as a Local Heritage item in the Community Heritage Study based on the material contained in the Preliminary Evidence Sheet and Statement of Significance.***

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

**Item No. 493**

**Property** 7009 Illawarra Highway Moss Vale  
Bulls Hill / Hazleton  
Lot 5 DP 61903

This property is not located in a Heritage Conservation Area.

Submission objecting to the proposed listing as a Local Heritage Item made by the owner Caroline Fagan citing purported errors in the listing, insufficient merit and potential financial implications.

The history presented in the study is somewhat fragmented and could be confusing. The size of the various land portions associated with Bull Run and Hazelton varies as subdivision and amalgamation occurs under different ownerships.

Mayor Harris leased the property in the Summer Holidays at the beginning of the year 1889 and the Boarding School commenced thereafter.

The property ownership is not the same as the use by a number of women operating boarding schools and boarding houses on the site under leases, this is not uncommon. A full Land Title search would confirm the various owners over time. It appears that it was Mrs W.D. Campbell who bought the property in about 1906 and subsequently sold it to William Perry in 1914. Perry sold to Clara De Mestre in the 1920s after her husband's death and she and her daughter eventually occupied it until at least the 1940s. These complex ownership patterns are not essential to the heritage value of the property as a good representative example of a Late Victorian weatherboard house on a substantial estate at the southern edge of Moss Vale.

The use of the house as a country Boarding School and subsequently a rural Boarding House does however reflect a number of recurring heritage themes in the Southern Highlands for education and tourism that are still evident today.

The association with the De Metre family is not in my opinion directly related to identified associations with horse training for which Mr De Metre is noted and this significance should not form part of the Statement of Significance for the site.

***Recommended to be included as a Local Heritage Item in the Community Heritage Study subject to modification of the Statement of Significance in the Preliminary Evidence Sheet.***

**Item No. 497**

**Property** 2 Narellan Road Moss Vale  
'Emira' House 7 Garden  
Lot 1 DP 1083876

This property is not located in an existing or proposed Heritage Conservation Area.

Submission objecting to the Local Heritage listing of the property made by owners Oliver and Beatrix Kirkland on a wide variety of issues relating to 'extreme dilapidation', substantial alteration to original garden setting, substantial modification of external appearance through later modifications, arbitrary associations and additional financial obligations and implications for future sale etc.

Without a detailed assessment the building it is not possible to confirm or deny the claims by the owners as to the extreme levels of dilapidation, change or viability of the property.

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

Having reviewed the Preliminary Evidence Sheet and Statement of Significance in the study, I am of the opinion that there is insufficient local heritage value despite the original character of the site as a rural house and garden built for and occupied by prominent members of the local society.

The building does not demonstrate its former associations with owners and occupiers.

***Recommended to be excluded as a Local Heritage Item in the Community Heritage Study due to substantial modifications, building defects and insubstantial associations with previous owners.***

**RENWICK**

**Item No. 524**

**Property 86 Bong Bong Road, Renwick  
De Lauret Cottage (part of former Renwick Farm Homes)  
Lot 4005 DP 1124863**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission objecting to Local Heritage listing of the property made by The NSW Department of Education South Western Sydney Asset Management Unit. It is not obvious if the objections apply to the three buildings located at Renwick or only the older cottage home (Block G) and the former Scout hall.

There is a recognition in the submission that the place holds heritage value but that the associations with the operation and abuses at the former institution are painful to some members of society.

This concern is one which is commonly held when dealing with Government and Charity run institutions operating in the 19th and 20th century. Many of these sites are however of great cultural significance in demonstrating the history of society's changing attitudes to issues such as mental illness, medical infirmity, criminal punishment, delinquency, welfare, vocational training and education for orphans and so called 'problem' or 'wayward' children.

A large number of such institutions are represented in Local and State Heritage Inventories for Historic, Aesthetic and Social values. Many have been adapted for new uses that allow their earlier use to be interpreted.

While the State Children's Relief Board, under Dr. Renwick's instigated the operation of a cottage home at Mittagong for the convalescence of sickly children, in 1885 they eventually leased 100 acres of farmland for the establishment of a permanent location for the 'Mittagong Cottage Homes.'

Following changes in legislation 'The Mittagong Farm Home for Boys' was established here and the development of the site with the construction of training homes began in 1906. The use of the site continued till 1994 making it one of the longest running such institutions of its kind in Australia.

"De Lauret Cottage" built in 1974 to designs by the NSW Government Architect's Branch was the last of the cottages to be erected and replaced the early farmhouse previously located on the site.



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A Conservation Plan for the site was prepared by Tanner Architects in 2005 and assessed the “De Laurent” building complex as having moderate heritage values for historical and aesthetic significance and recommended the desirability of retention and adaptation for a new use.

I am of the opinion that the building complex is an excellent representative example of an institutional building type reflecting the use of ‘Sydney School’ design character carried out by the Government architects Branch and providing the last component of the former Boys Home complex allowing comparison with earlier cottage homes.

***Recommended for inclusion as a Local Heritage Item in the Community Heritage Study with the following modification to the Statement of Significance. Delete “it is significant because of its association with its namesake, Mrs A.M.De Laurent, who had the role of a Lady Visitor in the Goulburn District from 1883 - 1892.” There is no demonstrable associational significance. Delete “Of significance to former Renwick Homes children who resided in De Laurent Cottage from 1974 until its closure in 1982.” Many such residents have no desire to be associated with this place.***

**Item No. 525**

**Property 88 - 90 Bong Bong Road, Renwick  
‘Heydon Cottage’ (part of the former Renwick Farm Homes)  
Lot 1 DP 1131771**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission objecting to proposed Local Heritage listing from NSW Department of Education, South Western Sydney Asset Management Unit and requesting that the building be demolished due to its dilapidated state and in an attempt to erase the historic associations which they site represents to people who had former associations with the place when it was a Boys Home.

There is a recognition in the submission that the place holds some heritage value but that the associations with the operation and abuses at the former institution are painful to some members of society.

This concern is one which is commonly held when dealing with Government and Charity run institutions operating in the 19th and 20th century. Many of these sites are however of great cultural significance in demonstrating the history of society’s changing attitudes to issues such as mental illness, medical infirmity, criminal punishment, delinquency, welfare, vocational training and education for orphans and so called ‘problem’ or ‘wayward’ children.

A large number of such institutions are represented in Local and State Heritage Inventories for Historic, Aesthetic and Social values. Many have been adapted for new uses that allow their earlier use to be interpreted.

While the State Children’s Relief Board, under Dr. Renwick’s instigated the operation of a cottage home at Mittagong for the convalescence of sickly children, in 1885 they eventually leased 100 acres of farmland for the establishment of a permanent location for the ‘Mittagong Cottage Homes.’

Following changes in legislation ‘The Mittagong Farm Home for Boys’ was established here and the development of the site with the construction of training homes began in 1906. The use of the site continued till 1994 making it one of the longest running such institutions of its kind in Australia.

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'Heydon Cottage' was erected in 1916 as one of the group of residential buildings erected to house the boys sent to Mittagong. It is designed in a 'Federation' style characterising of the period and is unusually constructed of concrete blockwork.

A Conservation Plan for the site was prepared by Tanner Architects in 2005 and assessed the "Heydon Cottage" building as having high heritage values for Historical and Aesthetic significance and for the unusual technique employed in its construction.

Landscape elements of the site formerly identified in previous assessments have been removed and no longer form part of the current listing.

I am of the opinion that this last surviving substantially intact example of the former 'cottage homes' dating from the early establishment of the Mittagong Cottage Homes site is significant for both historic and aesthetic values to provide an understanding of this aspect of local and state history relating to Child Welfare.

**Recommended for inclusion as a Local Heritage item in the Community Heritage Study subject to the following amended Statement of Significance:**  
***'Heydon Cottage' within the grounds of the Highlands School, Bong Bong Road Renwick, is significant because it illustrates the development of the Renwick Farm Homes site at Mittagong, in this case a Cottage Home erected in 1916 during World War I to receive boys sent to Renwick by the Children's Court. It is also significant for its association with The Honourable Louis F Heydon L.F., M.L.C. (1848-1918) who was a member of the State Children Relief Board (1892 - 1918) The place also demonstrates the principal characteristics of a class of the local area's built heritage, in this case a large, well built, single storey Federation style residence. It also possesses a rare aspect of the local area's heritage for its early use of concrete block construction.***

**Item No. 527**

**Property      88 Bong Bong Road, Renwick  
'Scout Hall' (part of the former Renwick Farm Homes)  
Lot 1 DP 1131771**

This property is not located in an existing or proposed Heritage Conservation Area.

Submission by NSW Department of Education, South Western Sydney Asset Management Unit objecting to the Local Heritage listing of the former Scout Hall located on Bong Bong Road adjacent to the private access road within the grounds of The Highlands School at Renwick. The principal reason for the objection is thought to be due to its dilapidated condition and potential danger to existing pupils. The submission is not clear in this regard. Other reasons given for not listing the building is related to concern in the community by some people as to maintaining evidence of the former uses and abuses associated with the Cottage Homes site.

The building is a simple weatherboard clad structure and was erected initially for administrative uses prior to its modification for scouting activities.

The original asbestos shingle roofing has been replaced with corrugated metal sheeting. Various light weight additions are attached to the original structure.

A Conservation plan prepared for the site by Tanner Architects in 2005 assessed this structure as having high local heritage significance for its historical associations with the operations of the Cottage Homes.

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***Recommended to be included as a Local Heritage Item in the Community Heritage Study for the reasons identified in the Statement of Significance subject to deletion of the words "in Radio Road" and the words "garden setting". In light of the lack of evidence consideration should be given to deleting the words "Of significance to former Renwick Homes children who resided in Heydon Cottage until its closure in 1976"***

**ROBERTSON**

**Item No. 537**

Property **Hoddle Street Robertson  
Late Victorian weatherboard cottage  
Lot 2 DP 547 364**  
This property is located in a proposed Heritage Conservation Area.

Submission by owners James & Janette Giblin supporting the proposed Heritage listing and providing additional information.

***Recommended to be included as a Local Heritage Item for the values identified in the Preliminary Evidence Sheet in the Community Heritage Study.***

**Item No. 545**

Property **27 Hoddle Street Robertson  
'Tudor' style fibro cottage  
Lot 11 DP 918489**  
This property is located within a proposed Heritage Conservation Area.

Submission by owner Lawson Fredricks objecting to the proposed local heritage listing on the basis of the highly modified condition and substantial building defects associated with the structure.

Despite having the characteristic form and scale of buildings within the Hoddle Street Streetscape, the building has been substantially modified by extensive changes to the external fabric including cladding and fenestration and cannot be considered to have a high level of significance for the values identified in the study.

The site is located within the proposed Heritage Conservation Area and some level of control over the scale and character of any future development of the site to maintain the highly significant streetscape character and continuity can be achieved without individual listing as a heritage item.

***Recommended to be excluded as a Local Heritage Item in the Community Heritage Study by reason of the substantial modifications undertaken to the original fabric and the complications of extensive building fabric failure.***

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**SUTTON FOREST**

**Item No. 580**

**Property**      **51 Kater Road Sutton Forest  
'Cardrona' homestead  
Lots 1 - 2 DP 1081472**

The subject property is already listed for its landscape and is not located in an existing or proposed Heritage Conservation Area.

Submission by owner Arthur Inglis objecting to the additional listing of buildings on the site due to insufficient investigation of the extent of original or significant fabric and the ability of the house to demonstrate associations with previous significant owners.

In my opinion the Community Heritage Study has failed to identify the Local Heritage value of the present house and does not provide information in the Preliminary Evidence Sheet to support the proposed Statement of Significance.

***Recommended the property be excluded from Local Heritage listing in the Community Heritage Study in the absence of significant evidence of any substantial heritage values associated with the highly modified house.***

**WELBY**

**Item No. 584**

**Property**      **61 - 63 Berrima Street Welby  
'Colombine' (formerly 'Sheldon')  
Lot 15 DP 573525**

this property is not located in an existing or proposed Heritage Conservation Area.

Submission by Lindy Boylan (on Behalf of daughter Adriana Collingwood-Smith) objecting to the proposed heritage listing as they do not consider the property to meet thresholds for the values identified in the study.

The house and its garden setting provide a good example of modest 'Late Victorian' residential design with a strong symmetry which is reinforced by the prominent entry portico and tall chimneys. The original structure is substantially intact with sympathetic additions. In my opinion the place shows strong heritage values for those values identified in the study.

***Recommended to be included as a Local Heritage Item in accordance with the significance defined in the Preliminary Evidence Statement of Heritage Significance in the Community Heritage Study.***

**Item No. 591**

**Property**      **28 Old Hume Highway Welby  
'Welby Park Manor' House (including some interiors) and garden (including trees) and stone fence and adjacent reserves containing stone fences and trees.  
Lot 10 DP 1009585**

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This property is not located in an existing or proposed Heritage Conservation Area.

Submission by Charlotte Blaxland objecting to the proposed heritage listing, critical of the previous heritage assessment of 2009, the making of an ICO over the property in 2018 and the current Preliminary Evidence Sheet and Statement of Heritage Significance in the Community Heritage Study.

The original setting of this building and garden has been substantially reduced by subdivision, leaving it on a reduced curtilage with a frontage to Old Hume Highway though it has no visibility from the public domain. A portion of the original stone fencing and entry gates are visible from the Highway and the presence of the estate is defined by numerous mature trees that surround the building.

The Study has identified a significant association with Byera Hadley the original owner and architect and the use of some Arts & Crafts elements which are relatively rare in this area. The Study has also established that the location of this estate was part of the impetus for intensified development in the village of 'Fitzroy', now Welby after the First world war.

Elements of earlier garden layout and plantings remain on the site and on some adjoining sites that once formed part of its original curtilage.

The issues raised by the current owner cannot be investigated without detailed inspections of the property and available research material.

***On this basis the degree of integrity of the built form cannot be confirmed and it is recommended that the listing of this property be deferred from inclusion in the final heritage list.***

**WOODLANDS**

**Item No 609**

**Property      37 Kells Creek Road Woodlands  
'Leicecester Park' - stone house and slab house  
Lot 100 DP 1174711**

The property is not located in an existing or proposed Heritage Conservation Area.

Submission objecting to the current form of the proposed local heritage listing made by Gavin & Catherine Solomon acting for Leicester Park Stud Ltd which is the registered owner.

There is no real dispute as to the potential local heritage value of the original home but concern in relation to later additions to it and to the 'slab' hut which the owners believe is not original to the site or of any particular heritage value. The proposition that the slab building is a modern confabulation of various elements created to be picturesque in this setting may be true. Council records could indicate if an approval to build the structure was sought by previous owners. At this time, in the absence of evidence to the contrary, it would be best to delete the references to the slab house in the listing for this property. The Preliminary Evidence Sheet is clear that while the whole property has some significance for its early associations with an important pioneer, it is primarily the stone house that is identified on the site.

***Recommended for inclusion as a Local Heritage Item subject to deletion of any specific references to the age / authenticity of the slab hut in the Statement of Significance in the Preliminary Evidence Sheets of the Community Heritage Study.***



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**HERITAGE CONSERVATION AREAS**

**GENERAL**

There are currently 17 identified Heritage Conservation Areas in Schedule 5, Part 2 of the Wingecarribee LEP 2010.

The Community Heritage Study 2021-2023 has made recommendations for the establishment of 9 new Heritage Conservation Areas and the extension of 7 existing Heritage Conservation Areas. The location and evidence for these are provided in Volume 3.18 of the Heritage Study.

Support for the making of the proposed Heritage Conservation Areas identified in the Study was submitted by The Friends of Bowral Ltd., the Berrima Residents Association, The Exeter Village Association, The Australian Garden History Association, Ms. Dymphna Irwin, Rodney Cavalier, Nick Corbett, Brooke Matson, Brian Thornton, Richard Stafford, Ann Beaumont, Rose-Marie Wells, Jenny Simons, Dave Baxter, Peter & Margaret Chadwick, Peter Nelson, Clive West, Peter Kabaila and Mr Chris McGuigan.

Individual submissions objecting to the making of the Heritage Conservation Areas were received from individual property owners for a variety of reasons, principally that the area definitions were too broad and included non contributory and intrusive development with no identifiable heritage value.

Conflict between those residents in support of the proposed identification of Heritage Conservation Areas and those opposed to inclusion for one reason or another require a balanced assessment of what is proposed.

In my experience the defining of appropriate Heritage Conservation Areas requires careful mapping of 'contributory', 'neutral' and 'intrusive' sites combined with an assessment of appropriate buffer areas to protect areas of cohesive heritage character for protection through appropriate DCP controls.

It is possible that the definition of Heritage Conservation Areas ought to be separated from the proposed Local Heritage listing of identified items to allow for further assessment and mapping to take place and the evaluation of appropriate planning controls which should apply. This decision is beyond the current scope of the Peer Review process and in this report recommendations of the general acceptability of the proposed areas has been undertaken.

Each proposed Heritage Conservation Area was inspected from the street to gauge the cohesive character of both built elements and landscape settings.

This section of the Peer Review deals with submissions made in relation to properties located in the defined areas identified in the Community Heritage Study. No assessment was made of existing Heritage Conservation Areas.

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**BERRIMA**

**Northern and Southern Extensions to the existing  
Berrima Landscape Conservation Area.**

No submissions were made in objection to the proposed extensions of the Berrima Heritage Landscape Conservation Area.

Submission in support from Berrima Residents Association (Eric Savage) supporting the Wingecarribee Community Heritage Study and fully supporting the proposed extension of the Berrima Heritage Landscape Conservation Area.

The area was examined by Coleen Morris Heritage Landscape Specialist and her findings are included in the study in support of the extension of the physical and visual catchment for the Village of Berrima to protect its outstanding heritage values to the State.

**Assessment**

In assessing this proposal I see no reason to question any of the assumptions made or the conclusions reached by the Community Heritage Study based on the detailed assessment undertaken by Colleen Morris. An appropriate visual curtilage for the village is important in allowing it to be understood as a Colonial settlement in a rural setting, protecting views into and out of the village.

**Recommendation**

***The proposed area should be included in the Gateway submission for the reasons set out in the Preliminary Evidence Sheets to ensure the protection of the unique character of Berrima and to manage any future development that may detract from its State significance.***

***Wording in the Statement of Significance should differentiate between comments related specifically to Berrima rather than to Sutton Forrest and Exeter villages.***

**BOWRAL**

**Northern Entrance Landscape Conservation Area: Northern and Southern extensions.**

**Submission**

Submissions in relation to landscape conservation have been received from the Australian Garden History Society encouraging the identification of significant landscape area in the shire. Additionally significant community concern has recently been shown in relation to the Pin Oak trees and camellias adjoining the railway station.

**Assessment**

Recent pruning of these trees and shrubs as part of the repair and maintenance of the railway entry and carpark interface has been undertaken to ensure that these landscape elements are appropriately managed and conserved. The proposed Landscape Conservation Area covers land in public ownership including the War Memorial Park and the Remembrance Grove at the northern edge of the proposed area.

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These areas are managed by council in concert with the Railways Dept. While some of the railway verge between the two extremities is generally of lower landscape value there appears to be a defined green edge at this significant entry point into the town of Bowral that shows evidence of planned landscape elements with associations to defence force memorials.

I do not think that the Heritage Assessment in the study is sufficient to make the statements regarding all aspects of Heritage Criteria, especially in regard to research potential and rarity, however this landscape has obvious social significance for the memorial associations and general appreciation of the quality the landscape brings to the northern entry to the town.

**Recommendation** ***I consider it would be appropriate to include this Landscape Conservation Area in the Gateway submission on the basis of a revised Statement of Significance relating primarily to Historical, Associational and Social Heritage criteria. A Plan of Management for this landscape area needs to be prepared to ensure its continued conservation and ongoing management.***

**BOWRAL Southern Entry Heritage Conservation Area**

**Submission** Submission by Ashley Overhill objecting to the proposed listing on the basis of the extent of existing developments in this location

**Assessment** Due to later development the eastern side of Moss Vale Road as identified in the current proposed Heritage Conservation Area has no heritage significance apart from the now isolated individual house 'Blairgowrie' at No. 450 Moss Vale Road which is identified for potential individual heritage listing in the Community heritage Study.

The 'gateway' to Bowral Town Centre created at the roundabout at Bowral Street relies heavily on the two parks on either corner rather than the buildings to the south or north of the intersection.

The landscaping in the small Maynard Park is highly compromised following development of the adjacent site for a large residential complex, with a number of the trees appearing to be dead. This park area dates from the 1980s and has no identifiable heritage value

To the north on Bong Bong Street, the former 'Spare Parts' building is identified as a potential heritage item in the current study, while the service station opposite provides neither 'gateway' value or heritage character at this location.

The concept of a 'gateway' to the Town Centre is in my opinion more appropriately a strategic planning issue for the Bowral Town Plan currently under consideration.

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The row of older brick and timber cottages, No. 441 - 451 on the western side of Moss Vale Road combined with the larger established Lion's Park do however form a cohesive group that illustrates the earlier development at the southern entry to the town and have a degree of heritage value.

**Recommendation** *The proposed Bowral Southern Entrance Heritage Conservation Area be included in the final gateway submission but that it be reduced to that group of contributory buildings on the western side of Moss Vale Road and the Lion's Park with a minor change to the Statement of Significance to delete reference to Maynard Park.*

**BOWRAL Bowral Heritage Conservation Area Extension (Shepherd Street North)**

**Submissions 4 Shepherd Street**

Submission made by Alicia Williams, the owner of 4 Shepherd Street Bowral supporting the proposed Conservation Area and protection of the streetscape and requesting attention to existing Cherry Trees by Council.

**16 Elm Street**

Submission made by Deborah Sutherland the owner of 16 Elm Street objecting to the inclusion of Elm Street in the proposed extension of the conservation area because of the mixed character of the development there. This objection is in line with those who do not consider that the inclusion of some 'non contributory' or 'neutral' elements may be necessary to allow for the retention of other heritage character values.

**Assessment** In general this area appears to have been identified to link the two existing Conservation Areas to the north and south of Shepherd Street. The majority of buildings identified would be considered 'neutral' rather than contributory to the identified significance of the area. A few houses are more characteristic including No.4 & 6 Shepherd Street, 38 Shepherd Street and No. 18 Una Street but on the whole the area has relatively low heritage value. The car park area of the Bowling Club and the area surrounding the State Government buildings in Merrigang Street are visually intrusive.

While some properties are contributory to the established character of the area no buildings in the proposed extension in my opinion would warrant individual Heritage listing. Venables Park is however a significant physical and visual character element of the area and contains part of the Memorial Cherry Tree Walk. It is clearly a link between the two adjoining conservation areas.

**Recommendation** *If this area were not associated with two currently listed adjoining Conservation Areas, I would not consider it to meet the threshold for listing as a stand alone conservation area. However as an infill between the two existing areas and given the presence of some contributory elements I recommend that the area be included for listing in the final gateway submission with a modification to delete*

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*reference to “many” early buildings etc. to be replaced with “some” early buildings.*

*The Community Heritage Study has incorrectly included reference to the ‘Southern Gateway’ parks in the Statement of Significance on page 30 of the report. This should be corrected.*

**BOWRAL**

**Bowral Conservation Area Merrigang Street Extension  
Merrigang Street Bowral.**

**Submissions**

**3 Myrtle Street**

Submission objecting to the inclusion of 3 Myrtle Street Bowral in an extension of the existing Heritage Conservation Area made by Bruce Daubin on behalf of the owner of the property. The objection is based on the relatively insignificant value of the buildings on the west side of Myrtle Street that were previously excluded from earlier Conservation Area boundaries.

Of the group of houses involved, only No.3 has a level of integrity as a substantial intact interwar house. It would not however warrant individual heritage listing. The alignment of the boundaries have been drawn to create a cohesive area where not contributory sites are included to allow for appropriate control of future development that could adversely affect the significant streetscapes.

While Mr Daubin does not agree with this approach, it seems to me to be a reasonable way of providing a buffer to areas that would otherwise fragment the areas of identified cohesion and character.

**140a Merrigang Street**

Submission made by owner of 140a Merrigang Street, I Wombawell and N Harrison objecting to inclusion in an extension of the Heritage Conservation Area because the property is located on a battle axe allotment and contains a new house that is not contributory to the heritage character of the area or the streetscape of Merrigang Street.

Definition of a Heritage Conservation Area will generally include properties that are either ‘neutral’, ‘non contributory’ or ‘intrusive / detracting’ to the identified significance and predominant heritage character.

No significant adverse impact on owners of buildings that do not contribute to the area generally arise from inclusion in the Conservation Area Listing. In the case of 140a Merrigang Street there would be no resulting planning controls beyond those applied generally throughout the Shire.

**Assessment**

This proposed extension of an existing Heritage Conservation Area continues the established development character and presentation of the existing listed areas of Merrigang Street to the west. It includes a number of properties identified as potential heritage items. It is well defined and does not include any significantly intrusive items.



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**Recommendation** *The proposed extended area of the existing Bowral Conservation Area in the Community Heritage Study be included in the final areas adopted for inclusion in the gateway submission.*

**BOWRAL** **Holy & Elm Streets Extension, Holly, Elm & Shepherd Street, Bowral**

**Submissions** There are no submissions relating specifically to this proposed extension to the Bowral Heritage Conservation area.

**Assessment** This proposed Heritage Conservation area is not well supported by the Community Study beyond its general residential amenity values and subdivision pattern. The assessment of heritage qualities on page 41 of the report would suggest that it does not possess significant heritage values. Three properties have been individually identified for heritage listing but many of the other properties are indicated to be of no heritage interest.

**Recommendation** *The proposed extended area of the existing Bowral Conservation Area in the Community Heritage Study be deferred pending a more detailed assessment of its value as a conservation area.*

**BOWRAL** **Glebe Estate Extension Bradman Avenue & Bowral Street, Bowral**

**Submissions** There are no submissions relating specifically to this proposed extension of the existing Glebe Estate Heritage Conservation area., however the owner of No. 116 Bowral road is in support of the individual listing of that property.

**Assessment** Despite this area having limited heritage values in the manner of built items, it is clearly part of the identified Glebe Estate created in the 1920s and largely developed in the first half of the 20th century. Its separation from other existing portions of the estate does appear to be an anomaly that would be remedied by this listing.

**Recommendation** *The proposed extended area of the existing Glebe Estate Conservation Area be included in the final areas adopted for inclusion in the gateway submission.*

**BOWRAL** **Station Street Heritage Conservation Area 44 - 54 Station Street Bowral**

**Submissions** It is noted that the owners of the pair of Victorian Terraces at No. 48 - 50 Station Street have objected elsewhere to their inclusion in the Community Heritage Study as a Local Heritage Item.

**Assessment** The proposed new Heritage Conservation Area contains 5 commercial buildings that were formerly residential, one of which, No.54 Station Street is already a Local Heritage Item and three others, No.44,48-50 & 52 are proposed Local Heritage Items in the Community Heritage Study. No. 46

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Station Street would not meet thresholds for individual listing as a heritage item.

In its current form, I consider the group to be too small to list as a Heritage Conservation Area, however I note that there are two contributory buildings on Argyle Lane which if combined with the existing heritage listed Church and Church Hall fronting Banquette Street would form a relatively cohesive precinct. Providing evidence of development in this section of Bowral in the late 19th century.

**Recommendation** *In its current form the buildings are adequately protected by individual heritage listing and are not large enough together to be considered as a Heritage Conservation Area. If combined with the rear properties and the adjoining heritage listed Church and Hall, I consider that the area could be included as a Heritage Conservation Area which demonstrates the early development pattern in this section of Bowral for residential and church use, demonstrating a high degree of aesthetic value in this location.*

**BUNDANOON Church Street extension, Bundanoon**

**Submissions** There are no submissions in relation to the proposed extension off the existing Church Street Heritage Conservation Area at Bundanoon.

**Assessment** The proposed extension incorporates the public school and a number of residential properties that are characteristic of the established character of the area and are visually cohesive. I consider the extension to be a reasonable proposal to maintain the heritage values of the area identified in the Community Heritage Study.

**Recommendation** *The proposed extension of the Church Street Heritage Conservation Area at Bundanoon is recommended to be adopted for inclusion in the final gateway submission.*

**BURRADOO Links Road & Golf Course Heritage Conservation Area Burradoo**

**Submissions** There are no specific submissions dealing with the creation of the proposed Links Road Heritage Conservation area though there are 2 objections in relation to individual property heritage listings that are located within the boundaries of the proposed listing.

**Assessment** Bowral Golf Course and the associated development of Links Road in the early 20th century resulted in the creation of a number of significant buildings and landscapes which are recognised as being almost iconic in the area. Elsewhere in this review it is recommended that the Golf Club House not be individually listed but that the Golf Course be identified as a Cultural Landscape. A significant number of individual properties in Links Road are recommended for individual heritage listing, while others are

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considered contributory to the overall character within the proposed Heritage Conservation area.

**Recommendation** ***The proposed Links Road & Golf Course Heritage Conservation area be included in the final areas adopted for inclusion in the gateway submission.***

**EXETER**

**Exeter Village Heritage Conservation Area**

**Submissions**

Submission by Exeter Village Association supporting the making of the Exeter Village Conservation Area and nominating potential heritage items for inclusion. The final extent of the proposed listing was the result of consultation with the Association having regard to the existing DCP controls. Rural landscape buffers were included to protect the existing extent of development.

Submission by Martin McGrane, Architect in support of the proposed Heritage Conservation Area and the proposed Local Heritage listings in the village and suggesting a wider rural landscape buffer for the village. In his opinion the significance of the village *“justifies a reasonable envelope or curtilage of protection from inappropriate and detrimental future development.”* He goes on to say *“This will not inhibit or restrict land owner rights or Council intentions re potential subdivision or residential urban consolidation in line with the LEP, but will serve to apply an additional level of control to ensure better building design to complement rather than detract from the Village and its traditional setting.”*

Submission from David and Karen Knott of ‘Buskers End’ 2 - 6 Buskers Avenue Exeter supporting the making of a Heritage Conservation Area and concerned that without further expansion of the area, inappropriate subdivision will take place in the vicinity of ‘Buskers End’.

Submission from Mark Singer supporting the implementation of a proposed Heritage Conservation Area for Exeter Village and suggesting it be extended to the boundaries of the current DCP. Mr Singer applauds the inclusion of landscape features in the proposed listing.

Submission from Stephen Blackman supporting the implementation of a proposed Heritage Conservation Area for Exeter Village and recommending expansion of the area to cover that defined by the existing DCP.

Submission from Lisa Bingley supporting the implementation of the proposed heritage Conservation Area for Exeter Village with the view that the area should be further extended to prevent unsympathetic development that would detract from the heritage character of the village.

Submission from Trevor and Julie- Ann New supporting the proposed Heritage Conservation Area for Exeter Village to preserve existing character.

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Submission from Brian Gesser supporting the proposed Heritage Conservation Area for the Village of Exeter.

Submission from Anthony Baker in support of the making of a Heritage Conservation area for Exeter Village.

Submission from Ruth & Peter Stone in support of the proposed Heritage Conservation area for Exeter Village.

Submission from Angela Williamson of 71 Westgrove Road Exeter supporting the actions of Council in undertaking the Community Based Heritage Study and the proposed Heritage Conservation Area for Exeter Village.

Submission from Mark and Johanna Webeck giving unequivocal support to Council in regard to the proposed Heritage Conservation Area for Exeter Village.

Submission by Raymond Binns of 272 Ellsmore Road Exeter in support of the proposed Exeter Village Heritage Conservation Area.

Submission from Rick Beers of 15 Schools Lane Exeter in support of the proposed heritage listings and Exeter Village Heritage Conservation Area and suggesting further items and extent of the identified listing and the provision of additional Rural landscape protection.

Submission from Brian Wood of 568 Ellsmore Road Exeter, in support of the proposed Heritage Conservation Area for the Village of Exeter and seeking potential Landscape Conservation controls in the area.

Submission from David Williamson supporting the proposed Heritage Conservation Area for Exeter Village to protect existing heritage character.

Submission from Vito Arena and Ali Beck seeking to support the making of the proposed Heritage Conservation Area and its extension to include their property adjoining 'Invergowrie'. They also seek the establishment of a Significant Tree Register which is outside the scope of the current study.

**5 Jensons Lane objection**

Submission by Paul Davies, Heritage Consultant on behalf of Peter Engle and Louisa Parker objecting to the inclusion of 5 Jensens Lane in the proposed HCA.

No. 5 Jensens Lane is 'neutral' or 'non contributory' to the overall identified significance of the Exeter Village Conservation Area.

The objection is in relation to the form and extent of the proposed new Heritage Conservation Area and the lack of appropriate mapping of contributory and non contributory items as well as some potential conflicts with the existing DCP controls for the village. Mr Davies did not agree with the Statement of Significance identified in the Community Heritage Study document.

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Mr Engles and Ms Parker were concerned that the bulk of buildings adjoining their property were of no heritage value and that inclusion would result in additional and unreasonable and planning controls.

- Assessment** The proposed Heritage Conservation Area has been appropriately studied and identified and has received wide community support from local residents who seek to maintain the unique historic character of Exeter.
- Recommendation** ***Recommended to be included as a Conservation area as set out in the Community Heritage Study. Possible further community consultation should be undertaken regarding expansion of the area and particular planning controls for Exeter Village to preserve the existing heritage character and limit future intrusive development.***

**KANGALOOON      Kangaloon Village Heritage Conservation Area, Kangaloon**

- Submissions** There are no specific submissions in regard to this proposed Heritage Conservation Area which includes several of the proposed individually heritage listings for the village.
- Assessment** The intent of making this very small Heritage Conservation area is to protect the surviving 'rural hamlet' character of the village which clusters around a cross roads location. Part of the significance of this location is the beautiful rural setting that surrounds the village and extends into the countryside demonstrating the effects of the Robertson Land Acts and the establishment of dairying industries here in the mid 19th century. As recommended elsewhere in this review, a larger Cultural Landscape Conservation Area needs to be established that incorporates both Kangaloon and East Kangaloon.
- Recommendation** ***Recommended to be included as a Conservation area as set out in the Community Heritage Study. Further analysis and study of a larger Cultural Landscape protection area is highly desirable.***

**MITTAGONG      Mittagong Heritage Conservation Area extension**

- Submissions** Submission by Simon Pikkit on behalf of Willow Properties who own a number of buildings in this location, raising the significance of the majority of the buildings for any Heritage values.
- Assessment** The only building of significance in the proposed area is 'The Boston Ivy', two storey Late Victorian shop.
- There is no heritage justification for the proposed joining of the two existing Heritage Conservation Areas by the inclusion of this strip of development, none of which has any heritage or streetscape value for the town and which is likely to have redevelopment pressures in the future.



# AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

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**Recommendation** *Recommended to be excluded in the final gateway submission.*

#### **ROBERTSON** Robertson Heritage Conservation Area Hoddle Street, Robertson

**Submissions** There were no submissions relating to the proposed Heritage Conservation Area for Robertson however one submission in regard to the exclusion of No. 27 Hoddle Street is dealt with elsewhere in this report.

**Assessment** The main Street of Robertson demonstrates with exceptional clarity the historic linear development of the Village and retains a remarkable number of contributory items and potential heritage items that suggest the whole area along Hoddle Street from the railway crossing in the west to The Cheese Factory site in the east be designated a Heritage Conservation Area.

The elongated street alignment of the main street following 'Hoddle's Line' track and the establishment of a town site in 1862 under the Land Reform

Acts promoted by John Robertson are quite evident in the current village character and make it unique in the Southern Highlands.

**Recommendation** *This proposed Heritage Conservation Area is recommended for inclusion in any final submission for Gateway approval associated with the next stage of the Community Heritage Study.*

#### **SUTTON FOREST** Sutton Forest & Exeter Landscape Conservation Area

**Submissions** There are no submissions in relation to the creation of a Landscape Conservation Area as proposed in the Community Heritage Study.

**Assessment** A detailed assessment of this area based on recommendations from the National Trust of Australia (NSW) and refined by Colleen Morris has identified the significance of this large cultural landscape incorporating a substantial number of identified heritage items reaching back to early Colonial times in the European settlement of the Southern Highlands.

**Recommendation** *This proposed Cultural Landscape Conservation Area is recommended to be adopted for inclusion in the final gateway submission.*

#### **WILDES MEADOW** Wildes Meadow Village Heritage Conservation area

**Submissions** **48 Church Street Wildes Meadow**  
Submission by Giovanni Ruperto of 48 Church Street Wildes Meadow objecting generally to any heritage listing affecting his property.

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**Assessment**

The remaining development in the hamlet of Wides Meadow clearly demonstrates the establishment of small farming communities following the Robertson Land Acts which opened up the area for agriculture. The fragile nature of the surviving structures requires development controls to ensure its heritage values are conserved.

**Recommendation**

***The proposed Wildes Meadow Village Heritage Conservation Area is recommended to be adopted for inclusion in the final gateway submission.***

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**RECOMMENDATIONS FOR INCLUSION / EXCLUSION IN FINAL HERITAGE LIST**

**GENERAL** The final recommendations for inclusion / exclusion of identified properties in the Wingecarribee Community Heritage Study for each of the identified areas is summarised below and shown on the attached spreadsheet. The item numbers are those identified in the Community Heritage Study and are grouped by nominated village locations.

**BALMORAL - ITEMS Nos. 1 - 6**

*Balmoral in the Southern Highlands first appeared in 1888 as the name of the local railway siding. It was then applied as the name of the first subdivision when the original Land Grants of Henry Harry and Samuel Levy Bensusan were developed into the Balmoral Estate in 1896. Balmoral Castle Estate in the Scottish Highlands was where Queen Victoria and Prince Albert established their private holiday home in the 1850s. The name became popular throughout the Empire.*

**There are currently no individual heritage items or Heritage Conservation Areas identified in the Wingecarribee LEP 2010 for the Balmoral settlement.**

**The Community Based Heritage Study proposes 6 individual heritage items in this location for consideration.**

**Items No. 1**

Bolans Road Balmoral, 'Balmoral Cemetery' is recommended to be **included** in the final heritage list. The site is not located in an existing or proposed Heritage Conservation Area.

**Item No. 2**

No. 5 Railway Parade Balmoral, 'Former Public School' is recommended to be **excluded** from the final heritage list. While the former Public School has some ability to demonstrate its original design and former use it is substantially compromised by later additions and alterations and it is not unique as there is a similar substantially intact School at Glenquarry.

**Items No. 3,4,5 & 6**

Nos.27, 31, 35 & 37 Railway Parade Balmoral, are accurately identified and researched to be **included** in the final heritage list. The final Statements of significance should delete the term 'beauty of its setting' and simply refer to 'setting'. The properties are not located in an existing or proposed Heritage Conservation Area.

**BERRIMA - ITEMS Nos. 7 - 12**

*Berrima is a unique historic village established in 1831 following a recommendation to Governor Bourke by Survey General, Thomas Mitchell in 1829. The village was set out by surveyor Robert Hoddle on an English model, with a village green at its centre with public buildings surrounding it and adjacent streets set aside for residential development. It was a centre for Government administration in the county and the plan allowed for the establishment of a gaol, courthouse and housing for government officials. It remains one of the best preserved Georgian Colonial towns in Australia.*

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**There are currently 64 individual heritage items, 2 Heritage Conservation Areas and an Archaeological listed at Berrima in the Wingecarribee LEP 2010. There are 16 items entered for Berrima on the NSW State Heritage Register.**

**The Community Based Heritage Study proposes an extension of the existing Heritage Conservation Area and a further 6 individual heritage items for consideration.**

**Item No. 7**

No.224 Greenhills Road Berrima, is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No.8**

No. 38 Jellore Street Berrima, 'Berrima Bridge Nursery' is recommended to be **included** in the final heritage list. The site is located in the existing Heritage Conservation Area.

The Statement of significance should delete the sentence *"The Conservation Management Plan identifies a further 4 trees as of high significance and 21 trees as having moderate significance due to their rarity in Australia."* Changes to the site over time and natural attrition may have altered the landscape significantly from when these statements were made. Additionally the reference to the 'swing' should be deleted as it no longer exists. The place retains significance for its historic use and associations and its contribution to the village character generally.

**Item No.9**

Old Oak tree, Market Place, Berrima given the current state of the oak, I would recommend that it be **excluded** from the final heritage list.

The Statement of Significance in the study should be modified to delete the sentence *"The tree serves as an important visual element on the corner of the Old Hume Highway and Jellore Street and has landmark quality. Prior to the failure of one of its limbs, the tree was a beautiful symmetrical example of an English Oak."* While this was once true it no longer applies.

The tree is located in the Market Place Berrima which is a Heritage Item in the Wingecarribee LEP 2010.

The sentence *"It is a likely rare example of such a tree and one that is still standing more than 130 years after it was planted."* There are a number of very old English Oaks in the district.

I am generally of the opinion that significant trees which are subject to growth, disease and eventual death are more appropriately identified on a Significant Tree Register rather than being identified as individual heritage items.

**Item No.10**

No.3020 Old Hume Highway Berrima. 'Bendooley Homestead' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

The Statement of Significance should be altered to describe the house as *"an early sandstone 'Georgian Style' Victorian era residence"* to avoid any confusion to the building being erected during the Georgian period.

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**Item No.11**

No.7-9 Oldbury Street Berrima, 'Stone Cottage' is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No.12**

No.1 Raglan Street Berrima, 'Tom Mitchell's Slab Hut' is recommended for **inclusion** in the final heritage list. The property is located in an existing Heritage Conservation Area.

The identification of this site should include the term '*partial ruin*' due to the state of the structure.

**BOWRAL - Items Nos. 13 - 250**

*Bowral - The establishment of the town of Bowral on the former 1823 John Oxley land grant, 'Wingecarribee' was the result of the construction of the southern railway line and the speculative subdivisions that initially occurred adjacent to its alignment in 1858. Expansion of the town was ensured by the construction of a station in 1867. By the 1880s the area had become a popular summer resort for some of Sydney's social elite who erected houses on substantial estates, while the town flourished with many smaller residential developments and community institutions. Recreational facilities and parks were established and a number of public and private schools opened. Waves of development in the early 20th century and the interwar period expanded the town to the east of the railway.*

**There are currently 72 individual heritage items, 2 Heritage Conservation Areas and an Archaeological site identified for Bowral in the Wingecarribee LEP 2010. There are 4 items at Bowral entered on the NSW State Heritage Register.**

**The Community Based Heritage Study contains 237 proposed new individual heritage listings. A number of these items fall in subdivisions that were created in the inter war period and subsequently developed with individual houses on relatively large lots. A number are also located in the existing or proposed extended and new Heritage Conservation Areas.**

**Item No. 13**

No.1 Aitken Street Bowral, 'Sunny Corner' is recommended to be **excluded** from the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 14**

No.12, Aitken Street Bowral, is recommended to be **excluded** in the final heritage list. It provides contributory value as a 'representative' example of interwar housing in the existing Heritage Conservation Area.

**Item No. 15**

No. 14 Aitken Road Bowral, 'Aroha' is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Items Nos. 16 - 23**

Nos. 16, 18, 20-22, 24, 26, 29, 30 & 31 Aitken Street Bowral, are recommended to be **excluded** from the final heritage list. The properties are located in an existing Heritage Conservation Area.



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**Item No. 24**

No. 28 Aitken Street Bowral, Victorian weatherboard cottage is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation Area.

**Items Nos. 25-26**

Nos. 43 & 43a Aitken Street Bowral are recommended to be **excluded** in the final heritage list. The properties are located in an existing Heritage Conservation Area.

**Item No. 27**

No.5 Alcorn Street Bowral, is recommended to be **included** in the final heritage list. The house though isolated in an industrial zoning is an intact example of a weatherboard workers cottage which would once have been more common in this area. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 28**

No. 2 Alfreda Street Bowral, 'Willyama'-Spanish Mission Style House is a good and relatively rare example of its type and is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 29**

No. 83 Ascot Road Bowral, Weatherboard worker's cottage is not located in an identified Heritage Conservation Area. It is recommended to be **included** in the final heritage list as a good surviving representative example of once common workers cottages in the area.

**Item No. 30**

No. 7 Banksia Street Bowral, Federation bungalow is located within an existing Heritage Conservation Area and is recommended to be **excluded** in the final heritage list.

**Item No. 31**

No 8 Banksia Street Bowral, Victorian masonry cottage with slate roof is not located within an existing Heritage Conservation Area. It is recommended to be **included** in the final heritage list.

**Item No. 32**

No.10 Banksia Street Bowral, Interwar Californian Bungalow is not located in an existing Heritage Conservation Area. It is recommended to be **included** in the final heritage list.

**Item No. 33**

No. 77 Bendooley Street Bowral, Interwar House including interiors is located within an existing Heritage Conservation Area. It is recommended to be **included** in the final heritage list.

**Item No. 34**

No. 90 Bendooley Street Bowral, 'Beatrice Park' house is a Post war house designed by a prominent architect. It is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 35**

No. 256 Bong Bong Street Bowral, National Australia Bank building is recommended to be **excluded** in the final heritage list.

**Item No. 36**

Bong Bong Street Bowral, Bowral War Memorial Park is recommended to be **included** in the final heritage list. The park is proposed to form part of a proposed Heritage Conservation area.

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**Item No. 37**

No. 302 - 306 Bong Bong Street Bowral, 'Springetts Arcade' upper facade is recommended to be **included** in the final heritage list.

**Item No. 38**

No. 329 - 339 Bong Bong Street Bowral, Shops are recommended to be **excluded** in the final heritage list.

**Item No. 39**

No. 408 - 412 Bong Bong Street Bowral, 'Bowral Hotel' is recommended to be **included** in the final heritage list.

**Item No. 40**

No. 421 - 425 Bong Bong Street Bowral, Former Bowral Spare Parts, is recommended to be **included** in the final heritage list. Refer to response to submission. This property is located in a proposed Heritage Conservation Area. (See comments on Bowral Southern Entrance HCA)

**Item No. 41**

No. 28 Boolwey Street Bowral, Victorian weatherboard house is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation Area.

**Item No. 42**

No.37 Boolwey Street Bowral, Interwar house is recommended to be **excluded** in the final heritage list. It is located within an existing Heritage Conservation Area. See Submission.

**Items Nos. 43 - 45 & 47- 48**

Nos. 39, 41, 43, 45 & 47 Boolwey Street Bowral are generally not outstanding examples of interwar houses and are recommended to be **excluded** from the final heritage list. They are located in an existing Heritage Conservation Area.

**Item No. 46**

No 33 Boolwey Street Bowral, (2 Edward Street) Interwar house is recommended to be **included** in the final heritage list as a substantially intact example. The property is located in an existing Heritage Conservation Area.

**Item No. 49**

No. 87 Bowral Street Bowral, Interwar weatherboard house is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Items Nos. 50 - 52**

Nos. 92, 94 & 96 Bowral Street are recommended to be **excluded** from the final heritage list. These houses are located within an existing Heritage Conservation Area.

**Item No. 53**

No. 98 Bowral Street Bowral, 'Whitstable' substantial Californian Bungalow is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 54**

No. 100 Bowral Street Bowral, Interwar two storey house is recommended to be **excluded** from the final heritage list because of its substantially modified fabric. The house is located in an existing Heritage Conservation Area.

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**Item No. 55**

No. 102 Bowral Street Bowral, 'Elvador' Interwar Mediterranean style house is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 56**

No. 104 Bowral Street Bowral, 1950s house is recommended to be **excluded** in the final heritage list. This property is located within an existing Heritage Conservation Area.

**Items Nos. 57 - 60**

Nos. 106, 116, 118 & 120 Bowral Street Bowral are recommended to be **included** in the final heritage list. These properties are located in a proposed Heritage Conservation Area.

**Items Nos. 61 - 64**

Nos. 122, 124, 126 & 128 Bowral Street are recommended to be **excluded** in the final heritage list. These properties are located in a proposed Heritage Conservation Area.

**Items Nos. 65 - 72**

Nos. 1, 2, 3, 5, 7, 9, 12 & 14 Bradman Street Bowral are recommended to be **excluded** from the final heritage list as not reaching thresholds for individual heritage listing and being located in existing and proposed Heritage Conservation Areas.

**Items Nos. 73 - 78**

Nos. 16, 22, 27, 29, 42, & 44-46 Bundaroo Street Bowral are recommended to be **included** in the final heritage list. These properties are all located in an existing Heritage Conservation Area.

**Item No. 79**

No. 9 Carlisle Street Bowral, Weatherboard cottage with iron lace is recommended to be **excluded** from the final heritage list due to the degree of modification to the original fabric and later additions. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 80**

No. 2-18 Centennial Road Bowral, 'Waterbrook' is recommended to be **excluded** in the final heritage list.

**Item No. 81**

No.13 Centennial Road Bowral, 'Glen Park' house & garden is recommended to be **excluded** in the final heritage list.

**Item No. 82**

No. 43 - 47 Centennial Road Bowral, 'Cragieburn' homestead, golf course and gardens is recommended to be **included** in the final heritage list. A Conservation Plan of Management for the site is recommended.

**Item No. 83**

No. 54 Centennial Road Bowral, 'Cotswold Cottage' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Items Nos. 84 - 86**

Nos. 1, 1a & 3 Church Street Bowral, are recommended to be **excluded** in the final heritage list due to the degree of modification of the original built form. These properties are located in an existing Heritage Conservation Area.

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**Item No. 87**

No. 4 Church Street Bowral, 'Redwood' Interwar house and garden is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Items Nos. 88 - 91**

Nos. 5, 6, 7, & 8 Church Street are recommended to be **excluded** in the final heritage list. These properties are located in an existing Heritage Conservation Area.

**Item No. 92**

No. 9 Church Street Bowral, 'Wirra Wirra' Federation house is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 93**

No. 10 Church Street Bowral, is recommended to be **excluded** the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 94**

No. 5 Crago Lane Bowral, 'Highdown' Victorian 'Gothic' weatherboard house and garden is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Items Nos. 95 - 96**

No. 18 & No. 20 Daphne Street Bowral, 'The Little Foxes' Federation 'Gothic' weatherboard house and 'Disbury' Federation house are recommended to be **excluded** the final heritage list.

**Item No. 97**

No. 6 David Street Bowral, Berida Hotel is recommended to be **included** in the final heritage list.

**Item No. 98**

Nos 1 Edward Street Bowral, is recommended to be **included** in the final heritage list. The property is located within an existing Heritage Conservation Area.

**Item No. 99**

No. 3 Edward Street Bowral, is recommended to be **excluded** from the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 100**

No. 5 Edward Street Bowral, is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 101**

No. 6 Edward Street Bowral, is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage conservation Area.

**Item No. 102**

No. 7 Edward Street Bowral, is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 103**

No. 9 Edward Street Bowral is recommended to be **excluded** from the final heritage list due to its external treatment. The property is already located in an existing Heritage Conservation Area.

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**Item No. 104**

No. 3 Elm Street Bowral is recommended to be **excluded** from the final heritage list. This property is already located in an existing Heritage Conservation Area.

**Item No. 105**

No. 5 Elm Street, Bowral, 'Teddington' Victorian villa is recommended to be **included** in the final heritage list for its association with Alf. Stephens Snr. And a relatively rare example of its type. The property is located in an existing Heritage Conservation Area.

**Items Nos. 106 - 107**

Nos. 6 & 7 Elm Street Bowral are recommended to be **excluded** from the final heritage list due to their modifications, however on further detailed investigation No. 7 Elm Street may be substantially intact behind the verandah infill. Both buildings are located in an existing Heritage Conservation Area.

**Items Nos. 108 - 110**

Nos. 9, 10, & 11 Elm Street Bowral are recommended to be **included** in the final heritage list as a group of three weatherboard Victorian cottages. The buildings are located in an existing Heritage Conservation Area.

**Item No. 111**

No. 26 Elm Street Bowral is recommended to be **excluded** in the final heritage list due to the degree of alterations and additions to the original fabric. The building is located in an existing Heritage Conservation Area.

**Item No. 112**

No. 1 Funston Street Bowral, Late Victorian house & Trachite fence posts is recommended to be **included** in the final heritage list, later additions clearly separated from original structure which retains original finish. The property is located in a proposed Heritage Conservation Area.

**Items Nos. 113 - 114**

Nos. 16 & 23 Gladstone Road Bowral, 'The Leightons' & 'The Ridge' are recommended to be **included** in the final heritage list. No 16 has lost its original verandahs which could be reinstated. These properties are not located in a Heritage Conservation Area.

**Item No. 115**

No. 27 Gladstone Road Bowral, 'Brightlands' is recommended to be **excluded** in the final heritage list for the reasons outlined in the response to the owners submissions.

**Items Nos. 116 - 124**

Nos. 5, 7, 12, 16, 18, 22, 24, 26 & 28 Glebe Street, Bowral do not in my opinion reach the thresholds for individual heritage listing and are already located within an existing Heritage Conservation Area. They are recommended to be **excluded** in the final heritage list. A number of submissions relating to these properties were received by Council and are addressed elsewhere in this report. Appropriate grading of contribution to the streetscape in the Conservation area needs to be made for each site and in this regard No.18 Glebe Street is considered to be of 'High' contributory value due to its corner location.

**Item No. 125**

No. 4 Hamilton Avenue Bowral 'Byways' weatherboard house is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

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**Item No. 126**

No.8 Holly Street Bowral, Victorian cottage is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Items Nos. 127 - 129**

Nos. 10, 15, &18 Holly Street Bowral are recommended to be **included** in the final heritage list. These properties are located in a Heritage Conservation Area.

**Item No. 130**

No.31 Holly Street Bowral, is recommended to be **excluded** in the final heritage list. The property is substantially modified and is already located in a Heritage Conservation Area.

**Item No. 131**

No. 45 Holly Street Bowral, Victorian weatherboard cottage is recommended to be **included** in the final heritage list. The property is not located in an existing Heritage Conservation Area

**Item No. 132**

No. 7 Ivy Street Bowral is recommended to be **excluded** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 133**

No. 1 Jasmine Street Bowral is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 134**

No. 7 Jasmine Street Bowral 'The Rosery' is recommended to be **excluded** in the final heritage list as a result of substantial internal modifications. The property is located within an existing Heritage Conservation Area.

**Item No. 135**

No. 10 Jasmine Street Bowral, 'Emmalay Cottage' is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 136**

No. 9 Kangaloon Road Bowral, Pine Trees are recommended to be **excluded** in the final heritage list as recommended in the Community based Heritage Study Report.

**Item No. 137**

No. 25 - 43 Kangaloon Road Bowral, Golf Club and former Caretakers Cottage are recommended to be **included** in the final heritage list for the cultural landscape nature of the golf course rather than any specific value associated with the highly modified buildings on the site. See response to submission elsewhere in this report.

**Item No. 138**

No. 34b Kangaloon Road Bowral, 'Landshome' is recommended to be **excluded** in the final heritage list as noted in the Community based Heritage Study Report.

**Items Nos. 139 - 140**

Nos. 36 & 40 Kangaloon Road Bowral, 'Ranelagh' & 'Kenilworth' are recommended to be **included** in the final heritage list.



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**Item No. 141**

No. 56 Kangaloon Road Bowral, Demolished house is recommended to be **excluded** in the final heritage list.

**Item No. 142**

No. 58 Kangaloon Road Bowral, 'Tudor Corner' is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation Area.

**Item No. 143**

No. 60 Kangaloon Road Bowral, is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Items Nos. 144 - 145**

Nos. 15 & 16 Merilbah Road Bowral, Sydney School houses are recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Items Nos. 146 - 150**

Nos. 16, 22, 23, 25-27 & 29-31 Merrigang Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in an existing Heritage Conservation Area.

**Item No. 151**

Nos. 33-35 Merrigang Street are recommended to be **excluded** from the final heritage list as a result of substantial modification and development of the site. The property is located in an existing Heritage Conservation Area.

**Items Nos. 152 - 155**

Nos. 37-39, 50, 51-53 & 63 Merrigang Street are recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation Area.

**Item No. 156**

No. 74 Merrigang Street Bowral is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Items Nos. 157 - 160**

Nos. 76, 78, 80, & 83 Merrigang Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in the existing Heritage Conservation Area.

**Item No. 161**

No. 101 Merrigang Street Bowral, is recommended to be **excluded** from the final heritage list as recommended in the Community Based Heritage Study. The property is located in the existing Heritage Conservation Area.

**Item No. 162**

No. 109 Merrigang Street Bowral, is recommended to be **included** in the final heritage list. The property is located in the existing Heritage Conservation Area.

**Item No. 163**

No. 112 Merrigang Street Bowral, Californian bungalow is recommended to be **excluded** in the final heritage list as indicated in the Community based Heritage Study. The property is located in the existing Heritage Conservation Area.

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**Item No. 164**

No. 116 Merrigang Street Bowral, Victorian brick house is recommended to be **excluded** from the final heritage list. See response to owners submission elsewhere in this report. The property is located in an existing Heritage Conservation Area.

**Item No. 165**

No.119 Merrigang Street Bowral, 'Rippowam', Interwar house is recommended to be **excluded** from the final heritage list due to the extreme degree of modification of the original form and fabric. The property is not located in the proposed Heritage Conservation Area.

**Items Nos. 166 - 168**

Nos.120, 122, & 124-126 Merrigang Street are recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation Area.

**Item No. 169**

No. 132 Merrigang Street Bowral, Single storey weatherboard house is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 170**

No. 138 Merrigang Street Bowral, Gardeners cottage is recommended to be **excluded** from the final heritage list. The property is located in the proposed Heritage Conservation Area.

**Item No. 171**

No. 142b Merrigang Street Bowral, 'Chifley' house including interiors and garden etc (see response to owners submission) is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 172**

No. 144 Merrigang Street Bowral, Weatherboard cottage is recommended to be **excluded** from the final heritage list due to significant modifications to the original fabric. The property is located within the proposed Heritage Conservation Area.

**Item No. 173**

No. 148 Merrigang Street Bowral, Victorian weatherboard cottage is recommended to be **included** in the final heritage list. The property is located in an existing heritage conservation Area.

**Item No. 174**

No. 158 Merrigang Street Bowral, Cottage, is recommended to be **excluded** from the final heritage list. The house makes a strong positive contribution to the streetscape in the proposed Heritage Conservation Area but has been significantly modified internally.

**Item No. 175**

No. 159 Merrigang Street Bowral, 'Rose Manor' is recommended to be **included** in the final heritage list. The property is located in a proposed Heritage Conservation Area.

**Items Nos. 176 - 179**

Nos. 164, 166, 170 & 173-179 Merrigang Street, are recommended to be **included** in the final heritage list. The properties are in a proposed Heritage Conservation Area.

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**Item No. 180**

No.174 Merrigang Street Bowral 'Green Gables' is recommended to be **excluded** in the final heritage list. The property is located in a proposed Heritage Conservation Area.

**Item Nos. 181 - 183**

Nos. 180, 186 & 192 Merrigang Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in the proposed Heritage Conservation Area.

**Item No. 184**

Mona Road Bowral, 1935 wing of Bowral Public Hospital is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 185**

No. 450 Moss Vale Road Bowral, 'Blairgowrie' Federation house is recommended to be **included** in the final heritage list. This property is located in a proposed heritage conservation Area that is recommended to be reduced in size excluding this site.

**Item No.186**

No. 2 Mount Road Bowral, Victorian cottage is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage conservation Area.

**Items Nos.187 - 189**

Nos. 21-23, 26 & 30a Mount Road, a group of Gothic style houses are recommended to be **included** in the final heritage list. These properties are not located in an existing or proposed heritage Conservation Area.

**Item No.190**

No.45 Mount Road Bowral Three Flats, This unusual development is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

**Items Nos.191 -192**

Nos. 2-6 & 16 Myosotis Street Bowral , 'Toorale' and 'Carrisbrook' are recommended to be **included** in the final heritage list. The properties are not located in an existing or proposed Heritage Conservation Area.

**Item No.193**

No. 133 Old Bowral Road Bowral, 'Gibraltar Park' original building, is recommended to be **included** in the final heritage list. An appropriate curtilage to be determined. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No.194**

No. 33 Oxley Drive Bowral, 'Norwood' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No.195**

No. 7 Oxley Hill Road Bowral, Two storey weatherboard house, is recommended to be **included** in the final heritage list as confirmed with the owner following a submission to Council. The property is not located in an existing or proposed heritage Conservation Area.

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**Item No.196**

No.1 Oxley's Hill Road Bowral, Bowral Brickworks is recommended to be **included** in the final heritage list. A Conservation Management Plan is required before any further development of the site. ( See Submission response elsewhere in this report.)

**Item No.197**

No. 12 Rose Street Bowral, Federation house is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No.198**

No. 17 Rose Street Bowral is recommended to be **excluded** in the final heritage list. The property is in an existing Heritage Conservation Area.

**Items Nos. 199-200**

Nos. 19 & 28 Rose Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in an existing Heritage Conservation Area.

**Item No. 201**

No.29 Rose Street Bowral, is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Items Nos. 202 - 205**

Nos. 30, 32-34, 40 & 42 Rose Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in an existing Heritage Conservation Area.

**Items Nos. 206 - 207**

Nos. 44 & 46 Rose Street Bowral, are recommended to be **excluded** in the final heritage list. The properties are located in an existing Heritage Conservation area.

**Item No. 208**

Sheffield Road Bowral, Old Bowral Cottage Hospital is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

**Items Nos. 209 - 210**

Nos. 1 & 7 Shepherd Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in a proposed Heritage Conservation Area.

**Items Nos. 211 -214**

Nos. 8, 11, 12 & 38 Shepherd Street Bowral, are recommended to be **excluded** in the final heritage list. These properties are located in an existing Heritage Conservation area.

**Items Nos. 215 - 216**

Nos. 60 & 67 Shepherd Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in existing and proposed Heritage Conservation Areas.

**Item No. 217**

No.71 Shepherd Street Bowral, 'Cavan' is recommended to be **excluded** in the final heritage list as it has been substantially altered. The property is located in an existing Heritage Conservation area.

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**Item No. 218**

No. 91 Shepherd Street Bowral, is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

**Items Nos. 219 - 220**

Nos. 5 & 2-8 Sherwood Avenue, 'Alma Cottage' & Scout Hall are recommended to be **included** in the final heritage list. These properties are not located in an existing or proposed Heritage Conservation Area.

**Item Nos. 221 - 222**

Nos. 7 & 9 St Jude Street Bowral, are recommended to be **excluded** in the final heritage list. These properties are located in an existing Heritage Conservation area.

**Item No. 223**

No. 11 St Jude Street Bowral, is recommended to be **included** in the final heritage list as a good representative example of a modest Post war house. This property is located in an existing Heritage Conservation Area.

**Item No. 224**

No. 15 St Jude street Bowral, is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage Conservation area.

**Items Nos. 225 - 226**

Nos. 17 & 19 St Jude Street Bowral, 'Anembo' and Californian bungalow are recommended to be **included** in the final heritage list. These properties are located in an existing Heritage Conservation Area.

**Item No. 227**

No. 21 St Jude Street Bowral, 'Woorang' is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage Conservation area.

**Items Nos. 228 - 229**

Station Street Bowral, Camellia Japonica planting on road edge adjoining Bowral Station car park and Avenue of eighteen PinOak street trees. These trees have historical and potential scientific significance and should be identified as landscape features. The trees are located in a proposed Heritage Conservation area forming the northern entry to Bowral. And in my opinion should be clearly identified in that listing rather than being identified separately in the final heritage list. Most Councils maintain a 'Significant Tree Register' rather than listing trees as individual heritage items. I am of the opinion that these two items should be **excluded** in the final heritage list subject to their appropriate identification in the proposed Heritage Conservation area and eventual listing in a Significant Tree Register.

**Item No. 230**

No. 34 Station Street Bowral, Beavan's Funeral parlour is recommended to be **included** in the final heritage list. This property is located in a proposed Heritage Conservation Area.

**Item No. 231**

No.44 Station street Bowral, Weatherboard cottage is recommended to be **included** in the final heritage list. This property is located in a proposed Heritage Conservation Area.

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**Item No. 232**

No.46 Station Street Bowral, Commercial cottage is recommended to be **excluded** in the final heritage list. This property is located in a proposed Heritage Conservation area.

**Items Nos. 233-234**

Nos. 48-50 & 52 Station Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in a proposed Heritage Conservation Area.

**Item No. 235**

No. 18 Una Street Bowral, Victorian weatherboard cottage is recommended to be **excluded** in the final heritage list. The property is located within a proposed Heritage Conservation area.

**Items Nos. 236 - 237**

Nos. 5-7 & 38 Victoria Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in an existing Heritage Conservation Area.

**Item No. 238**

No.49 Victoria Street Bowral is recommended to be **excluded** in the final heritage list. This property is located in an existing Heritage Conservation area.

**Item No. 239**

No. 10 Westwood Drive Bowral, 'Westwood' & 'Annesley' are recommended to be **included** in the final heritage list. (See response to submission elsewhere in this report.) They represent the theme of 'education' in the Highlands. These properties are not located in an existing or proposed Heritage Conservation Area.

**Items Nos. 240 - 244**

Nos. 5, 40, 53-55, 57 & 59 Wingecarribee Street Bowral, are recommended to be **included** in the final heritage list. These properties are not located in an existing or proposed Heritage Conservation Area.

**Items Nos. 245 - 250**

Nos. 37, 50, 52, 58-60, 62-24 & 66 Woodbine Street Bowral, are recommended to be **included** in the final heritage list.

**BRAEMAR - Items No.251 - 253**

*Braemar had a passenger train station on the Picton Loop railway line, which opened as Rushs Platform on 1 March 1867. In 1892 it was renamed Braemar to coincide with the naming of the village there after the Scottish village polarised by Queen Victoria, where the Highland Games are held annually. On 5 August 1978, the station was closed to passenger services.*

**There are 3 existing individual heritage listings in Braemar included in the Wingecarribee LEP 2010. A further 3 potential items have been identified in the location of Braemar in the Community Based Heritage Study.**



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**Item No. 251**

No 30 Old Hume Highway Braemar, 'Gascoigne House' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 252**

No.14-16 Railway Parade Braemar, 'Braemar Cottage' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 253**

No.18 Tyree Place Braemar, 'Grave' is recommended to be **included** in the final heritage list.

**BUNDANOON - Items No. 254 - 284**

*Bundanoon exists in an area of outstanding natural beauty that was made accessible by the extension of the southern railway in the 1860s. Initially the site of extractive industries, coal, timber and stone, by the 1880s with the expansion of tourism from Sydney it developed as a resort for middle class holiday makers and working class day trippers which continued up until the 1950s. demand resulted in the proliferation of accommodation in the form of farm stays and boarding houses which today form a substantial part of the areas built heritage.*

**There are 12 individual heritage items and a Heritage Conservation Area identified at Bundanoon in the Wingecarribee LEP 2010. The Bundanoon Railway Station is also entered on the NSW State Heritage Register.**

**The Community Based Heritage Study has identified a further 31 properties in Bundanoon which exemplify the period of expansion and growth of the village in the late 19th and early 20th centuries particularly as a tourist destination. An extension of an existing Heritage Conservation Area in Church Street Bundanoon is proposed and is recommended elsewhere in this report.**

**Item No. 254**

No 5 Amos Lane, Bundanoon, 'Arden Cottage' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 255**

No. 6 & 8 Amos Lane, Bundanoon, Amos Hill Private Cemetery is recommended to be **included** in the final heritage list with clear identification of the area of the site containing burials and excluding the modern residence.

**Item No. 256**

No. 10 Anzac Parade, Bundanoon, 'Midenhall' is recommended to be **included** in the final heritage list for its ability to demonstrate significant heritage values associated with the development of Bundanoon as a tourism destination. (see submission) The property is located in an existing Heritage Conservation Area.

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**Items Nos. 257 - 260**

Church Street Bundanoon and the properties identified as Nos. 2-4, 13 & 38-40, Church Street are recommended to be **included** in the final heritage list. In respect of Item 260, 38-40 Church Street, 'Eastdene' (see submission) These properties are located in an existing Heritage Conservation Area..

**Item No. 261**

No.7 Ebury Street Bundanoon, is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 262**

10 - 12 Ebury Street Bundanoon, is recommended to be **excluded** from the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 263**

No.14 Ebury Street Bundanoon, is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed heritage Conservation Area.

**Item No. 264**

No. 13 - 33 Elsmore Street, 'Killarney House' and grounds at Quest for Life Foundation is recommended to be **included** in the final heritage list. Establish appropriate curtilage. (see submission) The property is not located in an existing or proposed heritage conservation Area.

**Item No. 265**

No. 4 Erith Street Bundanoon, is highly compromised by recent conversion to medical rooms and has lost its earlier setting. It is already given some status as being located within an existing Heritage Conservation Area. It is recommended to be **excluded** from the final heritage list.

**Items Nos. 266 - 268**

Properties at 6-18 (Bundanoon Hotel), 26 & 48 Erith Street Bundanoon, are recommended to be **included** in the final heritage list. These properties are located in an existing Heritage Conservation Area.

**Item No. 269**

No.1-3 Fidelis Street Bundanoon, is recommended to be **excluded** from the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 270**

No. 7 Garland Road, Bundanoon, former Greenway Guest House and temporary location of Kincoppal School during the war, is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

**Item No. 271**

Gullies Road Bundanoon , Early Road Alignment and the Gurney Memorial gateway are recommended to be **included** in the final heritage list.

**Item No. 272**

No. 52 Gullies Road, Bundanoon,'Spring Vale' former guest house is recommended to be **included** in the final heritage list. The building is not located in an existing or proposed Heritage Conservation Area.

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**Item No. 273**

No. 30 Heritage Drive, Bundanoon, former Greason's Slaughterhouse ruins are recommended to be **excluded** from the final heritage list. (see submission) It is recommended this ruin be fully recorded by drawings and photographs.

**Item No. 274**

No. 12 - 16 Hill Street, Bundanoon, St Brigid's Roman Catholic Church is recommended to be **included** in the final heritage list. (see submission) The property is not located in an existing or proposed Heritage Conservation Area.

**Items No. 275**

No. 9 Panorama Avenue Bundanoon, is recommended to be **included** in the final heritage list. (refer to submission) This property are not located in an existing or proposed Heritage Conservation Area.

**Item No. 257**

No.17-19 Panorama Avenue Bundanoon, is recommended to be **excluded** in the final heritage list due to substantial recent changes to the building and the site.

**Item No. 277**

No. 71 Penrose Road Bundanoon 'Former Village Nursery' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 278**

No 74-78 Penrose Road, Bundanoon, former 'Bellevue Park' guest house is recommended to be **excluded** from the final heritage list (see submission). This property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 279**

No. 1-3 Railway Avenue, Bundanoon, Soldiers Memorial Hall and shop are recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation Area.

**Item No. 280**

No. 27 Railway Avenue, Bundanoon, former Post Office is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation Area.

**Item No. 281**

No.31 Railway Avenue Bundanoon, 'Altona' is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation Area.

**Item No. 282**

No. 41 - 43 Railway Avenue Bundanoon, 'Lynwood' is recommended to be **excluded** from the final heritage list. This property is located in an existing Heritage Conservation Area.

**Items Nos. 283 - 284**

Nos. 115-129 & 159 Railway Avenue Bundanoon, are recommended to be **included** in the final heritage list. (See submission for No 159 Railway Avenue) These properties are not located in an existing or proposed Heritage Conservation Area. No. 159 may be considered to be of State heritage significance.

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**BURRADOO - Items No. 285 - 319**

*Burradoo is the premier area of residential development in the Southern Highlands having a large number of substantial estates with prominent houses and extensive landscaped gardens established in the late 19th and early to mid 20th centuries. The small Station platform was established on the western edge of the suburb in 1870 to allow access to some of the earliest estates. The area has two distinct precincts which are divided by Moss Vale Road.*

**There are 27 existing Heritage Items and two Heritage Conservation Areas listed at Burradoo in the Wingecarribee LEP 2010 located in Burradoo. Yean Cottage / Anglwood Estate is also entered in the NSW State Heritage Register.**

**The Community Based Heritage Study identifies a further 35 potential individual heritage items for consideration.**

**A new Heritage Conservation Area is also proposed for Burradoo, *The Links Road and Golf Course Heritage Conservation Area*, which is recommended elsewhere in this report for inclusion in the Gateway Submission.**

**A number of the properties in Burradoo, covered by the new conservation area are also identified as potential Heritage Items in the Community Heritage Study. In my opinion some of these do not meet the threshold for individual listing though they have some significant associations and are generally 'contributory' to the established character of the area.**

**Item No. 285**

No. 55-57 Burradoo Road Burradoo, is recommended to be **included** in the final heritage list. Additional research on the property will provide further information for the Statement of Significance. This property is not located in an existing or proposed Heritage Conservation Area.

**Item No.286**

No. 91-95 Burradoo Road Burradoo, 'Lowanbrae' The original house has been sympathetically but substantially modified from the original design by Peddle Thorpe & Walker. And sits in a large landscaped garden possibly originally laid out when the house was built. I therefore recommend that it be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

Additional information on the original design of this property would be available through the PTW archive but is not listed in the Preliminary Evidence Sheet.

**Item No. 287**

No. 1-3 Eridge Park Road Burradoo, 'Harby Park' The property has historic associations as identified in the Preliminary Evidence Sheets, and includes an earlier house now surrounded by later additions. I recommend that it be **included** from the final heritage list subject to a reduced curtilage identified in the owner's submission. This property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 288**

No.3 Holly Road Burradoo, has been substantially altered from its original form and presentation and is no longer a good representative example of an Interwar house. Despite some significant associations, I recommend that it be **excluded** from the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

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**Items Nos. 289 - 290**

No.7 & 11 Links Road Burradoo, are good representative examples of interwar housing in Burradoo and I recommend they be **included** in the final heritage list. These buildings are also within the proposed Heritage Conservation Area.

**Item No. 291**

No.13 Links Road Burradoo, has been partially modified from its pre war appearance by modifications to the facade and by rear additions but retains an ability to demonstrate its earlier Mediterranean style evident in the 1938 photograph and has some associational significance with the Crouch family. I recommend it be **included** on the final heritage list. This property is located in a proposed Heritage Conservation Area.

**Items Nos. 292 -293**

No.15 & 19 Links Road Burradoo, interwar houses are recommended to be **included** in the final heritage list. These properties are located in a proposed Heritage Conservation Area.

**Item No. 294**

No. 21 Links Road Burradoo, interwar house is recommended to be **excluded** from the final heritage list. This property is located in a proposed Heritage Conservation Area.

**Item No. 295**

No 23 Links Road Burradoo, 'Shadowood' designed by prof. Leslie Wilkinson is possibly of State heritage significance and is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation Area.

**Item No. 296**

No. 25 Links Road Burradoo, 'Airley' is recommended to be **excluded** in the final heritage list. This property is located in a proposed Heritage Conservation area.

**Item No. 297**

No. 27 Links Road Burradoo, 'Chamae' is recommended to be **included** in the final heritage list. The property is located in the proposed Heritage Conservation Area.

**Item Nos. 298 - 299**

No 29 & 31 Links Road Burradoo, are recommended to be **excluded** from the final heritage list by reasons of the substantial alterations to the original structure. These properties are to be included in the proposed Heritage Conservation area.

**Item No. 300**

No. 33 Links Road, Burradoo 'Greenloaning' is recommended to be **included** in the final heritage list. This property is located in the proposed Heritage Conservation Area.

**Items Nos. 301 - 303**

No. 35, 37& 37a houses in Links Road Burradoo, are recommended to be **excluded** in the final heritage list. These properties are located in the proposed Heritage Conservation Area.

**Item No. 304**

No.39 Links Road Burradoo, 'Ambleside' is recommended to be **included** in the final heritage list. The property is located in the proposed Heritage Conservation Area.

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**Items Nos. 305 - 306**

No. 41 & 43 Links Road Burradoo, are recommended to be **excluded** from the final heritage list. The properties are located in the proposed Heritage Conservation Area.

**Item No. 307**

No. 502-508 Moss Vale Road, Burradoo 'Mt. Eymard' is recommended to be **included** in the final heritage list. An appropriate curtilage needs to be established for the former house and gardens. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 308**

No.539 Moss Vale Road Burradoo, cottage is recommended to be **included** in the final heritage list as one of a few surviving timber cottages in this location. This property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 309**

No. 540 Moss Vale Road, Burradoo 'Blairgowrie' garden, I am of the opinion that this proposed listing is not adequately researched to allow listing. Gardens and trees form a specific class of items for which different assessment criteria are required, unlike built items, gardens are constantly changing, especially where mature trees are involved or where maintenance regimes are not followed. I therefore recommend that this garden be **excluded** from heritage listing in the final heritage list. Separate listing of significant landscapes, gardens and trees needs to be established for this class of item. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 310**

No.543 Moss Vale Road, Burradoo 'Greenlaw' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 311**

No. 546 Moss Vale Road, Burradoo 'Kiamala' is recommended to be **excluded** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 312**

No.87 Osborne, Road Burradoo, 'Yokefleet' is recommended to be **excluded** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 313**

No. 96-98 Osborne Road Burradoo, 'Tregarthen' is recommended to be **included** in the final heritage list for the significant associations, despite the extent of modification to the original design of the house. The site is one of the more substantial in this location demonstrating the early character of Burradoo. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 314**

No. 8 Railway Road Burradoo, 'Burradoo Park' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 315**

No.11-29 Railway Parade Burradoo, 'Elvo' in Oxley College is recommended to be **included** in the final heritage list. (see submission) It is recommended that an appropriate curtilage be established for the building and any remnant garden elements.



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A Conservation Plan of Management should be prepared to allow for appropriate ongoing management. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 316**

No.1 Riversdale Avenue, Burradoo, 'Polo Cottage' is recommended to be **included** in the final heritage list (see submission) This property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 317**

No.15 Sunninghill Avenue Burradoo, 'Kyeema' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 318**

No. 6 The Avenue Burradoo, 'Landers' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 319**

No. 1-5 Yean Street Burradoo, 'Rathane' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

**BURRAWANG - Items No. 320 -330**

*Burrawang, named after the native palm once plentiful in the area, was a private village, established in 1865 when a Post Office was opened followed by the first licensed hotel and an Anglican school which was replaced by a Public School in 1876. The first community buildings were in Church Street where three churches were erected, Catholic 1875, Anglican 1886 and Presbyterian in 1888. Major industries at the time included dairying, potatoes, vegies plus flour and timber milling. Burrawang also had its own newspaper; the Burrawang Herald.*

**There are 14 existing individual heritage items and a Heritage Conservation Area listed at Burrawang in the Wingecarribee LEP 2010.**

**The Community Heritage Study has identified a further 11 properties for potential individual heritage listing which exemplify the period of expansion and growth of the village.**

**Item No. 320**

No.10 Church Street Burrawang, 'The Keep' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

**Items Nos. 321 & 322**

Nos. 44 & 45 Church Street Burrawang, The two churches are recommended to be **included** in the final heritage list. The Catholic Church is located in an existing Heritage Conservation Area while the Anglican Church is not in an existing or proposed Heritage Conservation Area.

**Item No. 323**

No. 6-8 Crown Street Burrawang, 'Hawthorne Cottage' is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation Area.

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**Item No. 324**

No.4 -6 Dale Street Burrawang, is recommended to be **excluded** from the final heritage list. This property is located in an existing Heritage Conservation Area.

**Item No. 325**

No.12 - 14 Dale Street Burrawang, is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation Area.

**Items Nos. 326 - 330**

Nos. 4-6, 8-10, 9, 23 & 25-27 Hoddle Street Burrawang, are all recommended to be **included** in the final heritage list. These properties are located in the existing Heritage Conservation Area.

**COLO VALE - Items No. 331 - 333**

*In 1837 when John Kiernan purchased some land where modern Colo Vale is, he called it Colo. During the early 1860s, increased settlement occurred due to the rich soil which derived from decomposing volcanic rock. The village of Colo Vale was formerly a station on the Main Southern Railway. The railway line was deviated in 1919 to a less steep alignment with easier grades and the original line became the Picton Loop line. Cool Vale railway station though disused, has been restored and is in good condition. St. Pauls Anglican Church which still stands today was built in 1884. The first school was built in 1911. In 1923, Colo Vale was settled by a number of migrant poultry farmers.*

**There is 1 existing individual heritage listing at Colo Vale in the Wingecarribee LEP 2010. The 3 potential new heritage items identified in the location of Colo Vale have been accurately identified and researched in the Community Heritage Study.**

**Items Nos. 331 - 332**

Nos. 50 & 70 Railway Avenue Colo Vale, are recommended to be **included** in the final heritage list. These properties are not located in an existing or proposed Heritage Conservation Area.

**Item No. 333**

No. 105 Wattle Street Colo Vale, Mud Brick buildings from the 1970s and 1980s should be noted as 'Ruins' future conservation of the structures which are derelict may be problematic. Another group of such structures which form part of an 'artists community' are located at Penrose. The mud brick buildings there are still occupied but are not identified for heritage listing. It is recommended that these buildings be **excluded** from the final heritage list.

**EAST KANGALOOON- Items No. 334 - 340**

*East Kangaloon is a small rural settlement with surrounding farms established following the opening up of land through the Robertson Land Act in 1861. Following forest clearing the area was predominantly dairy country and butter and cheese became the principal production. This was initially transported to the coast and subsequently to the southern train service for transport to Sydney.*

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There are no existing Heritage items listed for East Kangaloon in the Wingecarribee LEP 2010. The 6 listings proposed for the area in the Community Based Heritage Study relate primarily to the surviving dairy farm properties and associated support facilities.

**It is recommended that Council consider the establishment of a Cultural Heritage Landscape listing for Kangaloon and East Kangaloon which reflect the changes to the area resulting from The Robertson Land Acts and the establishment of dairy industries in the second half of the 19th century. Any listing should incorporate the group of identified dairy farms identified in the Community Heritage Study and the surrounding rural visual catchments.**

**Item No. 334**

No. 1970 Kangaloon Road, East Kangaloon, 'Pheasant Hill' and outbuildings is recommended to be **deferred** pending further detailed investigation of issues raised by the owners in the submission made to Council regarding the Preliminary Evidence Sheet information. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 335**

No. 1971 Kangaloon Road, East Kangaloon, Former St Matthew's Anglican Church is recommended to be **excluded** in the final heritage list due to the degree of modification of the original fabric. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 336**

No. 1973 Kangaloon Road, East Kangaloon, Cemetery is recommended to be **included** in the final heritage list for its historical values. The cemetery is not located in an existing or proposed Heritage Conservation area.

**Item No. 337**

No. 1974 Kangaloon Road, East Kangaloon, former Post Office and Store is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 338**

No. 2044 Kangaloon Road, East Kangaloon, 'Clover Hill' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 339**

No. 2128 Kangaloon Road, East Kangaloon, 'Pepper Tree Creek Estate' is recommended to be **deferred** subject to further investigation of the site. This property is not located in an existing or proposed Heritage Conservation area.

**Item No. 340**

Moresby Hill Road, East Kangaloon, is recommended to be **included** in the final heritage list.

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**EXETER - Items No. 341 - 360**

*Exeter is named after the English Cathedral city. Like other settlements in the Southern Highlands the area around Exeter was opened up by the construction of the Southern Railway in the 1860s which allowed farming produce to be easily transported to Sydney. Original land grants owned by the Badgery family were broken up into smaller farms and in the late 1880s the village of Exeter began to take shape. By 1895 it had most of the services required by a small community - a railway station, school, church, post office, general store and bakery. Many of these buildings remain today but some have been repurposed*

*In 1902 The School of Arts hall was built and in 1911 land for a park (now Exeter Park) was purchased. Half the money was raised by the local residents and half provided by the government.*

*The fertility of the soil and the cool climate of Exeter inspired Arthur Yates to establish his seed and bulb farm on 88 acres in the 1890s. He later established a nursery for flower and vegetable trials. The Yates land would later become the Invergowrie Estate. The Searl and Jensen families also established specialist plant and flower nurseries close by.*

**There are 12 individual heritage items identified in the Wingecarribee LEP 2010 for the village of Exeter. The Railway Station Group is also entered on the NSW State Heritage Register.**

**Proposed listing in the Community Based Heritage Study of 20 additional potential heritage items in Exeter support earlier studies for the heritage protection of the village and its rural setting. These include some sites that were originally established as plant and seed nurseries.**

**A large Heritage Conservation Area is also proposed to cover the village core and some surrounding rural landscape areas. This proposal is strongly supported by local residents and recommended for inclusion elsewhere in this report.**

**Item No. 341**

No. 2 Bundanoon Road Exeter, 'Village Pump Antiques' is recommended to be **included** in the final heritage list. See response to submission elsewhere in this report. The property is located in the proposed Exeter Heritage Conservation area.

**Item No. 342**

No 6 Bundanoon Road, Exeter, 'Adorna' 1920's bungalow is recommended to be **included** in the final heritage list. The property is located in the proposed Exeter Heritage Conservation area.

**Item No. 343**

Nos. 34 & 42 Bundanoon Road and 47 Jensens Road Exeter, 'Searl's Nursery site is recommended to be **deferred** as a heritage item in the final heritage list. While there is some obvious significance associated with this site, it is recommended that a separate study be undertaken to establish significant remains of earlier developments and activities. This property is located in the proposed Exeter Heritage Conservation area.

**Item No. 344**

No.302 Bundanoon Road, Exeter, Former Ringwood Coal Mining siding is recommended to be **excluded** from the final heritage list.

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**Item No. 345**

No. 2-6 Buskers Avenue, Exeter, 'Busker's End' is recommended to be **included** in the final heritage list. The property is located in the proposed Exeter Heritage Conservation area.

**Item No. 346**

No. 549 Ellsmore Road, Exeter, 'Ivy Hall' is recommended to be **excluded** in the final heritage list. For the reasons identified in the Community Heritage Study. The property is not located in an existing or proposed Heritage Conservation area.

**Item Nos. 347 - 348**

Nos. 1 & 2 Exeter Road, Exeter, 'General Store' and 'Halcyon' are recommended to be **included** in the final heritage list. These properties are located at the main intersection of the village and are in the proposed Exeter Heritage Conservation area.

**Item No. 349**

No. 10 Exeter Road, Exeter, 'Former CWA' is recommended to be **excluded** in the final heritage list for the reasons identified in the Community Heritage Study. The site is located in the proposed Exeter Heritage Conservation area.

**Item No. 350**

No. 23 Exeter Road, Exeter, 'Whare Tau' federation house including interiors, outbuildings and garden is recommended to be **included** in the final heritage list. This property is located in the proposed Exeter Heritage Conservation area.

**Item No. 351**

Jensen's Lane Exeter, Former Jensen's Nursery is recommended to be **excluded** in the final heritage list. See response to submission elsewhere in this report. This property is located in the proposed Exeter Heritage Conservation area.

**Items Nos. 352 - 353**

Nos. 5-7 Middle Road & 30 - 44 Middle Road Exeter are recommended to be **included** in the final heritage list. These properties are located in the proposed Exeter Heritage Conservation area.

**Item No. 354**

No. 72 Middle Road, Exeter, 'The Hill' is recommended to be **included** in the final heritage list. The aerial view in the Community Heritage Study appears to be an adjoining property and not 'The Hill'. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 355**

No. 28 Ringwood Road Exeter, 'Elouera' late Victorian house is recommended to be **included** in the final heritage list. The property is located in the proposed Exeter Heritage Conservation area.

**Item No. 356**

No. 15 Rockleigh Road Exeter, Two trees in road reserve are recommended to be **excluded** in the final heritage list for the reasons expressed elsewhere regarding individual landscape elements. They are more appropriately identified in a Significant Tree Register. They are not located in an existing or proposed Heritage Conservation area.

**Items Nos. 357 - 360**

Nos. 1, 12-14 School Lane, 235 Wera Road & 16-18 Wilsons Lane, Exeter are recommended to be **included** in the final heritage list. These properties are located in the proposed Heritage Conservation Area.

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**FITZROY FALLS - Items No. 361 - 362**

*In 1850 the Governor of New South Wales, Sir Charles Fitzroy, visited the falls and they were subsequently named after him. In 1862 the area was surveyed and a town was planned however little development occurred. In 1882 some 4000 acres around the falls were set aside as a reserve, by which time it was already popular as a local sightseeing attraction.*

*Fitzroy Falls has always remained a small village, with only several dozen houses, a small church and surrounding farmland.*

**There are no existing heritage items identified for Fitzroy Falls in the Wingecarribee LEP 2010.**

**Item No. 361**

No. 1059 Nowra Road Fitzroy Falls, 'Ulster Park' is recommended to be **included** in the final heritage list.

**Item No. 362**

No. 1131 Nowra Road Fitzroy Falls, former 'Emanuel Church' which despite its conversion to a residence and the loss of its interiors provides evidence of its former use and is associated with the nearby Ulster Park. It is recommended to be **included** in the final heritage list.

**HIGH RANGE - Item No. 363**

*High Range village is centred just off the Wombeyan Caves Road 55 kilometres east of the Wombeyan Caves. High Range has a church (St Thomas), a rural fire station, a bus stop and a cricket pitch.*

**There are 3 existing individual heritage listings for High Range in the Wingecarribee LEP 2010. The Community Based Heritage Study proposes a further item in this location.**

**Item No. 363**

The proposed listing of the sandstone Church at 1321 Wombeyan Caves Road High Range, is appropriately researched and documented and despite the latter addition is recommended to be **included** in the final Heritage list.

**JOADJA - Item No. 364**

*The historic village/ghost town, Joadja was established by the Australian Kerosene Oil and Mineral Company in the late 1870s to mine the vast kerosene shale deposits in the valley walls. Today Joadja is nothing more than a few remnants of buildings and a reminder of the transient nature of mining towns.*

**There are 4 existing heritage items and a Heritage Conservation Area identified for Joadja in the Wingecarribee LEP 2010 together with 2 identified Archaeological sites. The Shale Oil mining site is also entered on the NSW State Heritage Register.**



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**The Community Based Heritage Study identified a further site for inclusion as a heritage item.**

**Item No. 364**

The proposed listing of the sandstone and slab house, 'Mandemar' at No. 299 Richards Lane Joadja, is appropriately documented as supported in the Preliminary Evidence Sheet and Statement of Significance, and is recommended to be **included** in the final heritage list.

**KANGALOON - Items No. 365 - 379**

*Kangaloon is a scattered rural settlement with surrounding farms established following the opening up of land through the Robertson Land Act in 1861. Following forest clearing the area was predominantly dairy country and butter and cheese became the principal production. This was initially transported to the coast and subsequently to the southern train service for transport to Sydney. Dairy and cattle farming continue there today.*

**There are 4 existing listed heritage items at Kangaloon in the Wingecarribee LEP 2010. The Community Based Heritage Study identifies a further 15 individual heritage items and the Kangaloon Village Heritage Conservation Area which is recommended for adoption elsewhere in this report.**

**Proposed heritage listings in this area relate to remnant evidence of a number of the early dairy farms established and associated community structures.**

**It is further recommended that Council consider the establishment of a Cultural Heritage Landscape listing for Kangaloon and East Kangaloon which reflect the changes to the area resulting from The Robertson Land Acts and the establishment of dairy industries in the second half of the 19th century. Any listing should incorporate the group of identified dairy farms identified in the Community Heritage Study and the surrounding rural visual catchments which are of outstanding beauty.**

**Item No. 365**

No.1291 Kangaloon Road, Kangaloon 'Fernleigh' (early dairy farm) is recommended to be **included** in the final heritage list.

**Item No. 366**

No. 1320 Kangaloon Road, Kangaloon 'Willow Vale' (early dairy farm) is recommended to be **included** in the final heritage list.

**Item No. 367**

No.1461 Kangaloon Road, Kangaloon 'Hillview' (early dairy farm) is recommended to be **included** in the final heritage list.

**Item No. 368**

No. 1488 Kangaloon Road, Kangaloon Public School & Residence is recommended to be **included** in the final heritage list.

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**Item No. 369**

No. 1531 Kangaloon Road, Kangaloon "Mahony" residence is recommended to be **included** in the final heritage list. The property is located in a proposed Heritage Conservation area.

**Item No. 370**

No. 1536 Kangaloon Road Kangaloon 'Community Hall 1913' is recommended to be **included** in the final heritage list. The property is located in a proposed Heritage Conservation area.

**Item No. 371**

No. 1515 Kangaloon Road, Kangaloon 'Glenburn' weatherboard cottage is recommended to be **included** in the final heritage list. The property is located in a proposed Heritage Conservation area.

**Item No. 372**

No. 1540 Kangaloon Road, Kangaloon Former St Mark's Anglican Church is recommended to be **excluded** from the final heritage list because of the substantial alterations to its original fabric. The property is located in a proposed Heritage Conservation area.

**Item No. 373**

No. 1544 Kangaloon Road, Kangaloon Former Post Office and Store is recommended to be **included** in the final heritage list. The property is located in a proposed Heritage Conservation area.

**Item No. 374**

No. 1577 Kangaloon Road, Kangaloon 'Sugarloaf Farm' drystone walling is recommended to be **included** in the final heritage list for its contribution to the landscape and quality of its workmanship.

**Item No. 375**

No. 1601 Kangaloon Road, Kangaloon 'The Cedars' rubble cottage is recommended to be **deferred** subject to further detailed investigation of the site.

**Item No. 376**

No. 1660 Kangaloon Road, Kangaloon 'Springfield' (early dairy farm) is recommended to be **included** in the final heritage list.

**Item No. 377**

No. 1685 Kangaloon Road, Kangaloon 'Raybright Farm' (early dairy farm) is recommended to be **included** in the final heritage list.

**Item No. 378**

No. 1721 Kangaloon Road, Kangaloon 'Forest Lodge' stone buildings (early dairy farm) is recommended to be **included** in the final heritage list.

**Item No. 379**

No 15 Kia-Ora Lane ,Kangaloon 'Kia-Ora Cottage' (early dairy farm) is recommended to be **included** in the final heritage list.

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**MANCHESTER SQUARE - Item No. 380**

*Manchester Square is a small rural settlement, south of Moss Vale comprising a number farm properties on the escarpment adjoining the early Meryla Road which dates to the Colonial period, having been explored by Charles Throsby in 1818 as a route to the Kangaroo Valley. The area was principally dairying country.*

**There are no existing listed heritage items in this location.**

**Item No. 380**

Meryla Road extends through the district of Manchester Square serving a number of large rural holdings. Archaeological features along the road alignment provide evidence of colonial road building including some retaining walls and remnant kerb and guttering. It is recommended that these items be **included** as archaeological items in the final heritage list and that more accurate mapping of the elements be undertaken to ensure their future protection.

**MEDWAY - Item No. 381**

*Coal mining at Medway can be traced back to the 1880s. Boral's former mine, sited above the Wingecarribee River, was operated between 1926 and 2013.*

**There are no existing listed heritage items in this location.**

**Item No. 381**

The proposed listing of the Coal Mine and Colliery at 526 Medway Road Medway, is appropriately supported by the research and documentation in the Preliminary Evidence Sheet and Statement of Significance and is recommended to be **included** in the final heritage list. Its listing supports other heritage items associated with the industrial heritage of the Southern Highlands in the vicinity.

**MITTAGONG**

**Items No. 382 - 453**

*Mittagong was established on land reserved for a village with the coming of the railway (1867). Before that time there were a number of small and private villages scattered throughout the area (Nattai, New Sheffield, Fitzroy, Lower Mittagong). Only New Sheffield, owned by Fitzroy Iron Works grew to any appreciable size before 1860.*

*Apart from farming and grazing, Mittagong was primarily an early mining settlement. Coal, iron ore, and shale oil formed the basis of the area's prosperity up to the C20th. There was also a strong hospitality industry (inns, hotels, and guest houses), catering for travellers.*

*Demand for residential land increased after land subdivisions in the 1880s, with trainloads off speculators from Sydney arriving by train to bid at auctions.*

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*Many of the public buildings in the town were erected at the end of the C19th including churches, school, shops and hotels.*

*Mittagong contains a significant number of Late Victorian and Early 20th century residential and institutional buildings that establish the historic character of parts of the early town.*

*Several important educational institutions are also significant for their social value in the development of the town.*

**There are 75 individual heritage items in Mittagong that are listed in the Wingecarribee LEP 2010. There are 3 heritage items entered in the NSW State Heritage Register including the Railway Station group.**

**The Community Heritage Study has identified an additional 72 individual potential heritage items including surviving buildings dating from the expansion of the town in the late 19th and early 20th century.**

**Item No. 382**

No. 17 Alfred Street Mittagong is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage Conservation area.

**Items No. 383**

No. 23 Alfred Street Mittagong, is recommended to be **excluded** in the final heritage list due to the recent modifications. The property is located in an existing Heritage Conservation area.

**Items Nos. 384- 391**

No.s 25, 29, 36, 39, 41, 47, 49 & 52 Alfred Street Mittagong, are recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation area.

**Items Nos. 392 - 394**

No.s 2, 3 & 4 Alice Street Mittagong, are recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation area.

**Item No. 395**

No. 12 Apple Gate Close Mittagong, is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 396**

No. 7 Arthur Street Mittagong, is recommended to be **excluded** in the final heritage list. The property is located in an existing Heritage Conservation area.

**Items Nos. 397 - 398**

No.s 23 & 25 Arthur Street Mittagong, are recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation area.

**Item No. 399**

No. 171 Aylmerton Road Mittagong, is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

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**Item No. 400**

No. 25 Brewster Street Mittagong, is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 401**

No 8 Camellia Place Mittagong, is recommended to be **excluded** from the final heritage list. (See submission) The property is located in an existing Heritage Conservation area.

**Item No. 402**

No. 565 Diamond Fields Road Mittagong, is recommended to be **deferred** from listing in the final heritage list subject to further investigation and inspection..

**Items Nos. 403 - 410**

No.s 1, 2, & 4 Edward Lane & No.s 1, 6, 8, 13 & 24 Edward Street Mittagong, are recommended to be **included** in the final heritage list. These properties are located in the existing Heritage Conservation area.

**Items Nos. 411 - 412**

No.s 6 & 8 Helena Street Mittagong, are recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation area.

**Item No. 413**

No.18-20 Hillside Close Mittagong, 'Hillside Park', is recommended to be **included in** the final heritage list. (See submission) The property is located in an existing Heritage Conservation area.

**Item No. 414**

No. 7 Louisa Street Mittagong, Scout Hall, is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation area.

**Items Nos. 415 - 417**

No.s 15, 19, & 42 Old Hume Highway Mittagong, are recommended to be **included** in the final heritage list.

**Item No. 418**

No 48 - 50 Old Hulme Highway Mittagong, 'Murrabrine' Post war house including interiors and garden. **Demolished** prior to review. This property would otherwise have been recommended for listing as a heritage item in the final heritage list.

**Items Nos. 419 - 421**

Nos. 123, 236 & 245 Old Hulme Highway Mittagong, are recommended to be **included** in the final heritage list.

**Item No. 422**

Sandstone cottage, No. 290 Old Hume Highway Mittagong, is recommended to be **excluded** from the final heritage list.

**Item Nos. 423 - 326**

No.s 630, 750, 869, & 1220 Old South Road Mittagong, are recommended to be **included** in the final heritage list.

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**Items Nos. 427 - 432**

No.s 31, 33, 35, 39, 155, & 174-178 Oxley Drive Mittagong, are recommended to be **included** in the final heritage list.

**Item No. 433**

No. 194 Oxley Drive Mittagong, is recommended to be **excluded** from the final heritage list.

**Item No. 434**

No. 2 Pioneer Street Mittagong, is presently unoccupied and may be under threat of demolition. While the structure is dilapidated, it appears capable of conservation and adaptation with further rear additions. The building is visually prominent as the end of the early development in Pioneer Street before the commercial area and complements other proposed heritage items in an existing Heritage Conservation Area. It is recommended to be **included** in the final heritage list.

**Items Nos. 435 - 440**

No.s 4,5,6,7,9 & 10 Pioneer Street Mittagong, are recommended to be **included** in the final heritage list.

**Item No. 441**

No. 1 - 3 Prince Street Mittagong, 'Greenhayes' is recommended to be **included** in the final heritage list.

**Items Nos. 442 - 444**

No.s 1, 7 & 11 Queen Street Mittagong, are recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation area.

**Items Nos. 445 - 447**

No.s 24/26, 86, & 90 Railway Parade Mittagong, are recommended to be **included** in the final heritage list. The properties are not located in an existing or proposed Heritage Conservation area.

**Item No. 448**

'Clubbe Hall', Frensham, Range Road Mittagong, is recommended to be **included** in the final heritage list. This building is potentially of State heritage significance and is listed by other listing authorities.

**Item No. 449**

No. 71 Southey Street Mittagong, is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 450**

No. 50 - 52 Spring Street Mittagong, is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 451**

No. 2 Waverley Parade Mittagong, Sturt Workshops site is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 452**

No 38 Waverly Parade Mittagong, 'Wychwood' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.



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**Item No. 453**

No. 5-7 Webb Street Mittagong, is recommended to be **excluded** from the final heritage list. (See submission)

**MOSS VALE - Items No. 454 - 520**

*The area known as Moss Vale was originally considered to be part of Sutton Forest and remained rural until the coming of the Southern Railway. Subdivision of part of the Throsby Park Estate for the town of Moss Vale, named after Jemmy Moss, a herdsman at Throsby Park, commenced in 1864, in anticipation of the opening of Sutton Forest railway station in 1867 at the intersection with Old Argyle Road. The railway and the Robertson Land Acts encouraged denser settlement by selectors in the Southern Highlands and led to the growth of Moss Vale as a town. In 1877 Sutton Forest railway station was renamed Moss Vale.*

*A significant number of late 19th and early 20th century buildings in the Moss Vale township provide tangible evidence of its original establishment as a town and early growth.*

**There are 59 existing heritage items listed at Moss Vale in the Wingecarribee LEP 2010. There are 4 heritage items entered on the NSW State Heritage Register, 'Throsby Park', Bong Bong Church, Moss Vale Railway Station group and the Railway bridge over Argyle Street.**

**The Community Heritage Study has identified a further 67 potential heritage items to be considered for listing.**

**Item 454**

31 Abattoir Road Moss Vale, is recommended to be **excluded** from the final heritage list.

**Item 545**

Former Sub Station Argyle Street Moss Vale, is recommended to be **included** in the final heritage list (see submission) This property is located in an existing Heritage Conservation area.

**Item 456**

Queen Victoria Diamond Jubilee Fountain Argyle Street Moss Vale, is recommended to be **included** in the final heritage list. This item is located in an existing Heritage Conservation area.

**Items 457 & 458**

No. 125 -127 & 165 Argyle Street Moss Vale, houses are recommended to be **included** in the final heritage list. These properties are not located in an existing or proposed Heritage Conservation area.

**Item 459**

No. 181 Argyle Street Moss Vale, Interwar House is recommended to be **included** in the final heritage list (see submission) This property is not located in an existing or proposed Heritage Conservation area.

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**Item 460**

No.182 Argyle Street Moss Vale, weatherboard cottage. The Community Heritage Study does not recommend the listing of this property and did not consider the other small cottages in this part of Argyle Street worthy of identification in heritage terms, however in my opinion the group demonstrate the early 20th century character of the town and are prominent in this entry corridor and should possibly be considered as a group or small conservation area subject to further study. In this review it is recommended that the property should be **excluded** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item 461**

No. 239a Argyle Street Moss Vale, former Station Master's House is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation area.

**Items 462- 465**

No. 332,340-346, 348-354 & 396 Argyle Street Moss Vale, are recommended to be **included** in the final heritage list. These properties are located in an existing Heritage Conservation area.

**Item 466**

No. 405 Argyle Street Moss Vale, Edwardian Shops are recommended to be **excluded** from the final heritage list. This property is located in an existing Heritage Conservation area.

**Item 467**

No.406 Argyle Street Moss Vale, 'Maine House' is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation area.

**Item 468**

No. 480 - 486 Argyle Street Moss Vale, is recommended to be **excluded** from the final heritage list (see submission) The property is located in an existing Heritage Conservation area.

**Item 469**

No. 490 - 494 Argyle Street Moss Vale, 'Tooses Store' is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation area.

**Item 470**

No. 538 Argyle Street Moss Vale, single storey commercial building is recommended to be **included** in the final heritage list. (see submission) The property is located in an existing Heritage Conservation area.

**Item 471**

No. 542 Argyle Street, Moss Vale Two storey commercial building is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation area.

**Item 472**

No. 567 Argyle Street Moss Vale, 'Myee' and some interiors, recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation area.

**Item 473**

No.568 Argyle Street Moss Vale, Uniting Church and Hall are recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation area.

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**Item 474**

No. 574 - 576 Argyle Street Moss Vale, 'The Federal Butchery'. It does not seem appropriate to list one of this group of three early weatherboard buildings that all reflect the same level of historic and aesthetic values for development at this section of the town. The group is already identified as part of the existing Heritage Conservation area and I would consider it more appropriate to give them 'contributory' status rather than an isolated individual heritage listing. I therefore recommend that the item be **excluded** from the final heritage list. (Alternatively list the whole group up to the former 'Coach House Antiques' building on the corner of Yarrow Street. )

**Item 475**

No. 17 Arthur Street Moss Vale, 'The Nook' is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation area.

**Item 476**

No. 5 Berrima Road, Moss Vale, is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 477**

No. 8 Berrima Road Moss Vale, is recommended to be **excluded** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 478**

No. 9 Berrima Road Moss Vale, is recommended to be **excluded** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 479**

No. 10 Berrima Road Moss Vale, bungalow is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 480**

No. 79 Broughton Street Moss Vale, 'Trentwood' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 481**

No. 30 Browley Street Moss Vale, weatherboard house is recommended to be **excluded** from the final heritage list. This property is located in an existing Heritage Conservation area.

**Items 483 - 483**

No.1 & 2 / 41 Browley Street Moss Vale, conjoined houses are recommended to be **included** in the final heritage list. These properties are located in an existing Heritage Conservation area.

**Item 484 - 485**

No 9-13 & 21 Burcham Road Moss Vale, are recommended to be **included** in the final heritage list. These properties are not located in an existing or proposed Heritage Conservation area.

**Item 486**

No. 38 Chapman Street Moss Vale, weatherboard house is recommended to be **excluded** from the final heritage list. (see submission) This property is not located in an existing or proposed Heritage Conservation area.

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**Item 487**

No. 8 Elizabeth Street Moss Vale, is recommended to be **excluded** from the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 488**

No. 3 Fitzroy Street Moss Vale, 'The Gunyah' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 489**

No. 20 - 24 Hill Road, Moss Vale 'Cheplakwet' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 490 - 491**

No. 6220 Illawarra Highway Moss Vale, 'Southdowns' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 491**

No. 6530 Illawarra Highway Moss Vale, 'Farnborough' is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation area.

**Item 492**

No. 6607 Illawarra Highway Moss Vale, 'Misty Hill' is recommended to be **included** in the final heritage list. (see submission) This property is not located in an existing or proposed Heritage Conservation area.

**Item 493**

No. 7009 Illawarra Highway Moss Vale, 'Bulls Hill' is recommended to be **included** in the final heritage list. (see submission) This property is not located in an existing or proposed Heritage Conservation area.

**Item 494**

No. 9 Lovell Street Moss Vale, is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 495**

No. 21 Lovell street Moss Vale, 'Rose Cottage' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 496**

No. 85 Mount Ashby Road, Moss Vale, 'Mount Ashby' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 497**

No. 2 Narellan Road Moss Vale, 'Emira' is recommended to be **excluded** in the final heritage list. (see submission) This property is not located in an existing or proposed Heritage Conservation area.

**Item 498**

No 35 Parkes Road Moss Vale, 'Azalea Cottage' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

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**Item 499**

No. 6/37 Railway Street Moss Vale, 'Alloway' is recommended to be **included** in the final heritage list with definition of a curtilage. This property is not located in an existing or proposed Heritage Conservation area.

**Item 500**

No. 39 Railway Street, Moss Vale, 'Welwyn' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 501 - 502**

No. 31 - 33 & 47 Robertson Road Moss Vale, 'Ellerslie' & 'Yomerry' houses are recommended to be **included** in the final heritage list. These properties are not located in an existing or proposed Heritage Conservation area.

**Items 503 - 505**

No.6-8, 15 & 21 Spring Street Moss Vale, houses are recommended to be **included** in the final heritage list. These properties are located in an existing Heritage Conservation area.

**Item 506**

No. 15 Suttor Road, Moss Vale, houses is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation area.

**Item 507**

No. 103 Suttor Road Moss Vale, 'Wetheral' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item 508**

No. 10 Throsby Street Moss Vale, 'Wroxton' is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation area.

**Item 509**

No. 46 Throsby Street Moss Vale, 'Westrella' is recommended to be **excluded** in the final heritage list. The building has been modified to create multiple living units and while its external appearance makes some contribution to the existing Heritage Conservation area it does not meet a threshold for individual listing.

**Item 510 - 514**

No. 7, 18, 28, 32-34 & 51 Valetta Street Moss Vale, are all recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation area.

**Item 515**

Waite Street, Moss Vale, St Paul's International College, St Josephs School Room is to be added to the existing listing of the larger school site as a separately identified item and is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item 516**

No.5 Woodville Road Moss Vale, 'The Dell' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

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**Item 517**

No. 26 Wyatt Street Moss Vale, former rectory garden is recommended to be **excluded** from the final heritage list. This property is located in an existing Heritage Conservation area.

**Item 518**

No. 23 Yarrowa Street, Moss Vale, 'Bramble Cottage' is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation area.

**Item 519**

No. 43 Yarrowa Street Moss Vale, is recommended to be **excluded** from the final heritage list. While it retains much of its original fabric and design elements internally and externally and makes a positive contribution to the existing Heritage Conservation area it is not of sufficient value to warrant individual listing.

**Item 520**

No.51 Yarrowa Street Moss Vale, is recommended to be **included** in the final heritage list

**NEW BERRIMA Item 521**

*New Berrima is centred on the Boral Cement Works which is a major historic industrial site in the Shire and which contains structures of some contemporary architectural value.*

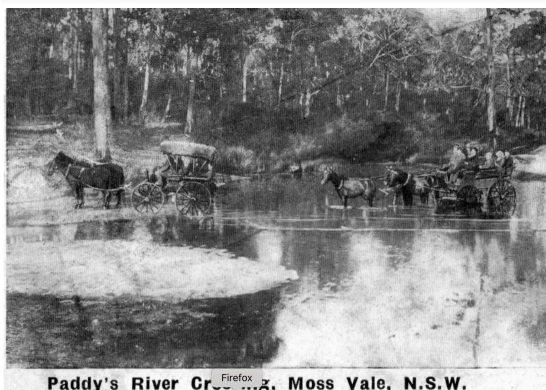
**The Community Heritage Study recommends individually listing the cement works as a heritage item.**

**Item No. 521**

Taylor Avenue, New Berrima, Boral Cement Works is recommended to be **included** in the final heritage list.

**PENROSE (PADDYS RIVER) Items 522 - 523**

*The Paddy's River road fords and road alignment are part of the early Old Argyle Road built largely by convict labour between 1818 - 1833. The South Road forded a number of creeks and rivers in its original alignment.*





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**The Wingecarribee LEP 2010 lists 4 heritage items at Penrose including Paddy's River Ford (site 1) giving the State Forest as its location. The site is not identified as an archaeological item.**

**Items 522 and 523** are recommended to be **excluded** from the final heritage list. The proposed listing of the Paddy's River Ford Site 2 as a Local Heritage Item cannot be supported in the absence of any specific location of this feature. Part of the Paddy's river Ford is already identified as a Local Heritage item in the Wingecarribee LEP and the whole of the Old Argyle Road is already identified in the Inventory of NSW Heritage. The track may contain various Colonial era archaeological features, however these have not been adequately identified or investigated in the present Community Heritage Study to allow their listing. The additional identification of this feature under Paddy's River is not supported by any evidence.

**RENWICK - Items 524 - 526**

*Renwick is a suburb located on the outskirts of Mittagong. Originally comprising farm land known as the Southward Estate it was originally leased in 1896 and purchased in 1906 by the State Children's Relief Board of the NSW Government for the establishment of a number of Children's Homes in 1906. This institution was a consolidation of the earlier Mittagong Cottage Homes scheme established in 1885 utilising houses scattered through Mittagong. In recent years large portions of the site were opened up for residential development.*

**The current Renwick school site provides evidence of the development of a major State run child welfare institution in NSW. Portions of the former establishment are identified in the Wingecarribee LEP 2010 and 'Challoner Cottage' is entered on the NSW State Heritage Register.**

**The Community Heritage Study identifies 3 further sites which form part of the former Children's Home site for potential listing as heritage items.**

**Items 524 - 526**

No. 86,88-90 & 54-56 Bong Bong Street, Renwick, 'De Laurent Cottage', 'Heydon Cottage' & 'Scout Hall'. The proposed listing of the three buildings located at the former Mittagong Cottage Homes site are appropriately identified and present significant remnant evidence for the growth and operations of an important Institution in Mittagong throughout the 20th century and should be **included** in the final heritage List.

**ROBERTSON - Items No. 527 - 570**

*Robertson is a town located on the eastern edge of the Wingecarribee Shire named after former Premier of New South Wales Sir John Robertson, whose 1861 Land Act cleared the way for the establishment of the town. Before then it was called Yarrawa Bush and consisted of dense rainforest vegetation. Laid out along the track surveyed by Robert Hoddle in the 1830s. The new town street layout was approved in July 1865, and the first blocks of land were sold that September. However, it was almost two decades before development of the town really took hold. From these humble beginnings, over the ensuing century and a half, Robertson has seen periods of both growth and stagnation. Today it is a popular tourist destination.*

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There are 9 existing individual heritage listings at Robertson in the Wingecarribee LEP 2010.

The surviving early buildings in the town clearly demonstrate its historic development along Hoddle Street. A number of these have however been substantially modified and have lost heritage integrity.

The Community Heritage Study identifies a further 44 individual potential heritage items for consideration. A new Heritage Conservation Area is also proposed for this town and recommended for inclusion elsewhere in this report.

**Item 527**

No. 54-56 Burrawang Street Robertson, 'Kookaburra Cottage' & 'Potters Cottage' are recommended to be **included** in the final heritage list. (See Submission)

**Item 528**

No. 63 - 65 Burrawang Street Robertson, is recommended to be **excluded** in the final heritage list.

**Item 529**

No. 71 Burrawang Street Robertson, Californian Bungalow is recommended to be **excluded** in the final heritage list.

**Item 530**

No. 77 - 79 Burrawang Street Robertson, Californian Bungalow is recommended to be **included** in the final heritage list.

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**Items 531 - 534**

Nos. 10, 12, 14 & 16 Caalong Street Robertson, are recommended to be **included** in the final heritage list. These buildings are located within the proposed Robertson Heritage Conservation area and are highly 'contributory' in the streetscape.

**Item 535**

No. 188 Fountaindale Road, Robertson, 'The Moorings' early land holding, in the absence of detailed evidence it is recommended that this property be **excluded** from the final heritage list.

**Item 536**

No. 1 Hoddle Street Robertson, 'Eureka' is recommended to be **included** in the final heritage list. The property is also located on the proposed Robertson Heritage Conservation Area.

**Item 537**

No. 2 Hoddle Street Robertson, is recommended to be **included** in the final heritage list. This property is also within the proposed Robertson Heritage Conservation Area. (See Submission)

**Item 538**

No.5 - 7 Hoddle Street Robertson, Reconstructed weatherboard House is recommended to be **excluded** from the final heritage list. This property is 'neutral' in the proposed Robertson Heritage Conservation Area.

**Items 539 -540**

Nos. 9 - 11 & 12 - 14, Hoddle Street Robertson, are recommended to be **included** in the final heritage list. They are 'contributory' to the proposed Robertson Heritage Conservation Area.

**Item 541**

No. 19 Hoddle Street Robertson, is recommended to be **excluded** from the final heritage list due to substantial modification of its external fabric. The property is located in a proposed Heritage Conservation Area.

**Item 542 -543**

Nos. 24 & 25 Hoddle Street Robertson, are recommended to be **included** in the final heritage list. The properties are located in a proposed Heritage Conservation Area.

**Items 544 - 545**

Nos. 26 & 27 Hoddle Street Robertson, are recommended to be **excluded** from the final heritage list. The properties are 'neutral' in the proposed Robertson Heritage Conservation area.

**Items 546 - 547**

Nos. 28 & 30 Hoddle Street Robertson, are recommended to be **included** in the final heritage list. The properties are 'contributory' in the proposed Robertson Heritage Conservation Area.

**Item 548**

No.31 Hoddle Street Robertson, is recommended to be **excluded** from the final heritage list. The property is located within the proposed Robertson Heritage Conservation Area.

**Items 549 - 550**

Nos. 34, & 36 Hoddle Street Robertson, are recommended to be **included** in the final heritage list. These properties are 'contributory' in the proposed Robertson Heritage Conservation Area.

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**Item 551**

No 39 -41 Hoddle Street Robertson, 'Former Uniting Church' is recommended to be **excluded** from the final heritage list due to the degree of modification to the original building fabric. The building is contributory to the proposed Heritage Conservation Area.

**Items 552**

No. 40 Hoddle Street Robertson, is recommended to be **excluded** from the final heritage list. This property is located within the proposed Robertson Heritage Conservation Area.

**Item 553**

No.42 Hoddle Street Robertson, is recommended to be **included** in the final heritage list. The property is located in a proposed Heritage Conservation Area.

**Item 554**

No. 43-45 Hoddle Street Robertson, 'White Horse Gallery' is recommended to be **included** in the final heritage list. The property is located in a proposed Heritage Conservation Area.

**Item 555**

No. 48 Hoddle Street Robertson, 'Hampden Park' is recommended to be **included** in the final heritage list as a landscape heritage item.

**Items - 556 - 558**

Nos. 62-66, 63, 67-69, Hoddle Street Robertson, are recommended to be **included** in the final heritage list. All of properties are **included** in the proposed Robertson Heritage Conservation Area where they are 'contributory' to the streetscape.

**Item 559**

No. 72 Hoddle Street Robertson, Infill Shop is recommended to be **excluded** in the final heritage list. The property is located within the proposed Robertson Heritage Conservation Area.

**Items 560 - 563**

Nos. 84, 87-89, 99 & 107 Hoddle Street Robertson, are recommended to be **included** in the final heritage list. These properties are located in the proposed Robertson Heritage Conservation area.

**Item 564**

No .4840 Illawarra Highway Robertson, Former Butter Factory and 'Redbank Cottage' are recommended to be **included** in the final heritage list.

**Item 565**

No. 1750 Jamberoo Mountain Road Robertson, former Missingham's Sawmill (demolished) while this site could be considered an archaeological site it is recommended to be **excluded** from the final heritage list.

**Item 566**

No. 3 - 5 Main Street Robertson, 'Brae House' is recommended to be **included** in the final heritage list. This property is 'contributory' within the proposed Robertson Heritage Conservation Area.

**Item 567**

No. 140 Old Kangaloon Road Robertson, 'Twin Creeks & garden' is recommended to be **included** in the final heritage list.

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**Item 568**

Shierlaw Road Robertson, early road is recommended to be **included** in the final heritage list.

**Items 569 - 570**

South Street Robertson, Landscape reserves are recommended to be **included** in the final heritage list as cultural landscape items.

**SUTTON FOREST - Items No. 571 - 582**

*Originally settled by rural landholders in the 1820s, Sutton Forest has had several village developments including a proposed Government town set out in 1854 and a private village on the banks of Medway Rivulet in the 1830s. The present small village evolved around the Anglican Church. A number of mid 19th century community buildings and Colonial homesteads are already listed as heritage items.*

**There are 28 individual heritage items identified at Sutton Forest in the Wingecarribee LEP 2010 while 4 significant homestead estates are entered in the NSW State Heritage Register.**

**A Further 12 sites have been identified in the Community Heritage Study for potential individual heritage listing that reflect the significant historic character and development of Sutton Forest.**

**A Landscape Conservation Area is also proposed for Sutton Forest and has been recommended for adoption elsewhere in this report.**

**Item No. 571**

No. 488 Exeter Road Sutton Forest, 'Old Rectory' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 572**

Hume Highway Sutton Forest, Old Sandstone Quarry has not been located and is therefore recommended to be **excluded** from the final heritage list.

**Item No. 573**

No. 12587 Hume Highway Sutton Forest, 'Eling Forest Stone Cottage' is recommended to be **included** in the final heritage list. The property is located adjoining an existing Heritage Item.

**Item No. 574**

No. 13230 Hume Highway Sutton Forest, 'Bridgewater Lodge' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 575**

No. 7310 Illawarra Highway Sutton Forest, 'Inverary' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

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**Item No. 576**

No. 7360 Illawarra Highway Sutton Forest, 'Federal Stores' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 577**

No. 7361 Illawarra Highway Sutton Forest, 'Munro Park Farm' in the absence of detailed evidence does not reach thresholds for inclusion as a Local Heritage item and should be **excluded** from the final heritage List. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 578**

No. 7480 Illawarra Highway Sutton Forest, 'Red Cow Farm' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 579**

No. 7733 Illawarra Highway, Sutton Forest, Wells Creek Bridge is now an archaeological feature and does not reach the thresholds for inclusion as a Local Heritage item and should be **excluded** from the final heritage list.

**Item No. 580**

No.51 Kater Road Sutton Forest, 'Cardrona' has been substantially altered from its original form and details and is recommended to be **excluded** from the final Heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Item No. 581**

Old Argyle Road Sutton Forest, 'Wells Creek Ford' is recommended to be **excluded** from the final heritage list. This is potentially an archaeological feature subject to further investigation.

**Item No. 582**

No. 173 Oldbury Road Sutton Forest, 'Swanton' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**WELBY**

**Items No. 583 - 591**

*The town of Welby situated to the west of Mittagong was originally established in the 1860s and was known as Fitzroy, but because of the number of towns in the Commonwealth bearing the name Fitzroy it had to be changed. The name Welby was derived from Welby's farm, which was one of the first farm houses in the district, situated on the east half way up the hill. From Mittagong.*

**No heritage items are currently identified for Welby in the Wingecarribee LEP 2010 or in the New State Heritage Register.**

**The Community Heritage Study has identified 9 sites for potential individual heritage listing in the vicinity of Welby.**



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**Item 583**

No. 17 Bendooley Street Welby, is recommended to be **included** in the final heritage list.

**Items 584 - 586**

No. 61-63, 71 & 97 Berrima Street Welby, are recommended to be **included** in the final heritage list.

**Items 587 - 588**

No. 9-11 & No. 30 Currockbilly Street Welby, are recommended to be **included** in the final heritage list.

**Item 589**

No. 49 - 51 Mittagong Street Welby, is recommended to be **excluded** from the final heritage list.

**Item 590**

No. 59 Mittagong Street Welby, is recommended to be **included** in the final heritage list.

**Item 591**

No. 28 Old Hume Highway Welby, is recommended to be **deferred** from inclusion in the final heritage list pending further investigation (see submission)

**WILDES MEADOW**

**Items 592 - 604**

*Wildes Meadow was first settled by Daniel Bresnahan, an Irish immigrant, in 1859. It was named after Charles Throsby's servant Joseph Wild, who lived in the area and contributed greatly to the European exploration of the Southern Highlands. The area was principally dairying country with butter making and vegetable cultivation combined with some orcharding. The area had a strong Methodist congregation linked to the Bowral Circuit.*

**There are 2 existing heritage listings for properties located at Wild's Meadow in the Wingecarribee LEP 2010.**

**The Community Heritage Study proposes a further 13 individual heritage items for the village and a new Heritage Conservation Area incorporating the historic settlement which is recommended to be adopted elsewhere in this report.**

**Item 592**

No. 475 Myra Vale Road Wildes Meadow, 'Milburn Creek' is recommended to be **included** in the final heritage list. While access is not possible it appears that online evidence supports the identification of the original home while the surrounding buildings are sympathetic.

The modern garden is well set out but does not appear to have any historic significance. The principal heritage values relate to the early development of the area.

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**Item 593**

No. 540 Myra Vale Road Wildes Meadow, 'Rosemount Farm' is recommended to be **included** in the final heritage list for its contribution to the history of the early development of this area in the latter part of the 19th century.

**Item 594**

No. 564 Myra Vale Road Wildes Meadow, Former Methodist Church is recommended to be **included** in the final heritage list as evidence of the strong Methodist presence in this area in the late 19th and early 20th century. The later additions are sympathetically separated from the original building form, while the adjoining cemetery provides evidence of early settlers in the area.

**Item 595**

No. 375 Wildes Meadow Road Wildes Meadow, Blacksmith's cottage is recommended to be **included** in the final heritage list. This property is located in a proposed Heritage Conservation area.

**Item 596**

No. 381 Wildes Meadow Road Wildes Meadow, 'Daisy Hill' is recommended to be **included** in the final heritage list. This property is located in a proposed Heritage Conservation area.

**Item 597**

No. 383 Wildes Meadow Road Wildes Meadow, 'Kirklands' is recommended to be **included** in the final heritage list. The property is located in a proposed Heritage Conservation area.

**Item 598**

No. 391 Wildes Meadow Road Wildes Meadow, 'Ferriby' is recommended to be **included** in the final heritage list. The property is located in a proposed Heritage Conservation area.

**Item 599**

No. 372 Wildes Meadow Road Wildes Meadow, House is recommended to be **excluded** from the final heritage list as it does not reach a threshold based on integrity of original fabric. The property is located in a proposed Heritage Conservation area.

**Items 600 - 604**

Nos. 377, 379, 387, 390 & 401 Wildes Meadow Road Wildes Meadow, are recommended to be **excluded** in the final heritage list. These properties are located in the proposed Heritage Conservation area.

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**WINGELLO. Items No. 605 -6**

*The first site known as Wingello was on the old Main South Road, several kilometres to the west of the present village. A William Mannix wrote to the Surveyor General in December 1824 regarding land he wished to purchase at a location called 'Wanglow', this appears to be the earliest reference to the name. Construction of the Main South Road began in 1834 using convict gangs in irons, one of their construction bases was at Wingello in wooden buildings built as a stockade. In 1844 a Thomas Brown of Bargo purchased the site where the stockade stood and built the 'White Horse Inn', Brown died in 1852. The building was a coaching station for travellers on the Main South Road. The present settlement began to develop on a new site adjacent to the railway where a station was opened in 1871.*

**There are 5 individual heritage items at Wingello listed in the Wingecarribee LEP 2010 and the Railway Station is entered in the NSW State Heritage Register.**

**The Community Heritage Study had identified 4 additional potential heritage items for consideration.**

**Items No. 605 - 608**

The houses at Nos. 9-13 Bumballa Road, Wingello are appropriately identified and are recommended to be **included** in the final Heritage list. The properties are not located in an existing or proposed Heritage Conservation Area.

**Item No. 606**

No. 11 Marimba Road Wingello, a late Victorian single storey timber cottage has lost a chimney and its early verandah roof, It is in fair condition and capable of future conservation but in the absence of detailed assessment is recommended to be **excluded** in the final Heritage list. It is incorrectly identified and is No.11 Marimba Road.

**Item No. 607**

No. 77 Railway Parade Wingello, Victorian era cook ovens have been demolished and are therefore recommended to be **excluded** from the final Heritage list.

**Item No. 608**

No.13-15 Sydney Street Wingello, 'Rail Cottage' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**WOODLANDS. Item No.609**

*Woodlands is a small village situated at the T-intersection of Wombeyan Caves Road and Spring Hill Road in The Southern Highlands.*

**There are no existing heritage listings for Woodlands.**

**Item No. 609**

No. 37 Kells Road Woodlands, 'Leicester Park' is recommended to be **included** in the final heritage list subject to deletion to any specific identification of the reconstructed slab building on the site.

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#### REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)

#### ADDITIONAL RESPONSE TO SUBMISSIONS TO COUNCIL

##### BOWRAL

###### Item No. 32

**Property**      **10 Banksia Street Bowral**  
**Interwar Californian bungalow**  
**Lot 3 DP 12768**

This property is not located in an existing Heritage Conservation Area.

Submission by Garth Legge objecting to the proposed listing of his property listing minor errors in the description of the house and garden and lack of visual prominence to the street. He is also concerned by the restrictive and invasive nature of the listing and any resulting financial obligations resulting from planning controls. These are not matters that affect my assessment of the appropriateness of the proposed listing in the Community Heritage Study. It is recommended to be **included** in the final heritage list.

###### Item No. 41

**Property**      **28 Boolwey Street, Bowral**  
**Victorian weatherboard cottage with bullnose verandah**  
**Lot 1 DP 995227**

This property is located in an existing Heritage Conservation Area.

Submission by Michael Pisano objecting to the proposed listing of the property on the basis of later changes to original details. While changes are visible in the property it remains a contributory item demonstrating the early 20th century development of this section of Bowral and is capable of conservation action to enhance its heritage values. Therefore No. 28 Boolwey Street Bowral, Victorian weatherboard house is recommended to be **included** in the final heritage list.

###### Item No. 55

**Property**      **102 Bowral Street, Bowral**  
**‘Elvador’—Interwar Mediterranean style house**  
**Lot 15 Sec C DP 11838**

This property is located in an existing Heritage Conservation Area

Submission by Alexander Lach-Newinsky objecting to the proposed listing claiming flaws and errors in the Community Heritage Study and providing a commentary on the Heritage Assessment by an un-named ‘experienced heritage consultant’. While there may be the ability to undertake more detailed assessment of the properties identified in the Community Heritage Study, I consider that the site represents a good, architect designed representative example of inter war architecture adopting a style which is not common in the area. I concur with the inclusion of this site as an individual heritage item even if I have some reservations relating to inclusion of some of the criteria for assessing its significance. No. 102 Bowral Street Bowral, ‘Elvador’ Interwar Mediterranean style house is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area however this alone is insufficient to ensure that its identified values will be conserved.

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##### Item No. 73

**Property**      **16 Bundaroo Street Bowral**  
**Victorian cottage**  
**Lot 30 Sec B DP 975353**

This property is located in an existing Heritage Conservation Area

Submission by Justin Tan objecting to individual listing of his property because it is already located within a Heritage Conservation Area. Notwithstanding later changes to the place it represents a significant example of residential development in this part of Bowral and is appropriately identified for inclusion. Nos. 16, 22, 27, 29, 42, & 44-46 Bundaroo Street Bowral are recommended to be **included** in the final heritage list. These properties are all located in an existing Heritage Conservation Area.

##### Item No. 86

**Property**      **3 Church St Bowral**  
**House**  
**Lot 5 Sec C DP 11838**

This property is located in an existing Heritage Conservation Area

Submission by Peter Lee objecting to the heritage listing of his property on the grounds of substantial changes to its original form and character with which I agree. Nos. 1, 1a & 3 Church Street Bowral, are recommended to be **excluded** in the final heritage list due to the degree of modification of the original built form. These properties are located in an existing Heritage Conservation Area.

##### Item No. 87

**Property**      **4 Church Street, Bowral**  
**‘Redwood’—Interwar house (including interiors) and garden (including**  
**Californian Redwood Tree planted in 19th Century)**  
**Lot B DP 333876**

This property is located in an existing Heritage Conservation Area

Submission by Ronald Clyde Townsing agreeing to the proposed heritage listing of his property. No. 4 Church Street Bowral, ‘Redwood’ Interwar house and garden is recommended to be **included** in the final heritage list. The property is located in an existing Heritage Conservation Area.

##### Item No. 114

**Property**      **23 Gladstone Road Bowral**  
**‘The Ridge’—house (including interiors) and garden**  
**Lot 1 DP 84446**

This property is not located in an existing or proposed Heritage Conservation Area

Submission by Cornelia McCulloch in regard to current and future internal modifications to the property but not objecting to the heritage listing per se. As noted elsewhere in this report interiors are generally not dealt with in the heritage listings except in cases where significant interiors are known to exist. Nos. 16 & 23 Gladstone Road Bowral, ‘The Leightons’ & ‘The Ridge’ are recommended to be **included** in the final heritage list. These properties are not located in a Heritage Conservation Area.

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##### Item No. 118

**Property**      **12 Glebe Street, Bowral**  
                     **Interwar bungalow**  
                     **Lot 4 Sec D DP 11838**

This property is located in an existing Heritage Conservation Area

Submission by Sarah Jane Gauchat suggesting that her property does not reach a threshold for inclusion as an individual heritage item. I agree with this assessment. Nos. 5, 7, 12, 16, 18, 22, 24, 26 & 28 Glebe Street, Bowral do not in my opinion reach the thresholds for individual heritage listing and are already located within an existing Heritage Conservation Area. They are recommended to be **excluded** in the final heritage list. A number of submissions relating to these properties were received by Council and are addressed elsewhere in this report. Appropriate grading of contribution to the streetscape in the Conservation area needs to be made for each site and in this regard No.18 Glebe Street is considered to be of 'High' contributory value due to its corner location.

##### Item No. 123

**Property**      **26 Glebe Street Bowral**  
                     **Interwar cottage**  
                     **Lot 13 Sec E DP 11838**

This property is located in an existing Heritage Conservation Area

Submission by Susan Davies indicating that inclusion in a Conservation area was sufficient to control future development options in the Glebe Estate. Nos. 5, 7, 12, 16, 18, 22, 24, 26 & 28 Glebe Street, Bowral do not in my opinion reach the thresholds for individual heritage listing and are already located within an existing Heritage Conservation Area. They are recommended to be **excluded** in the final heritage list. A number of submissions relating to these properties were received by Council and are addressed elsewhere in this report. Appropriate grading of contribution to the streetscape in the Conservation area needs to be made for each site.

##### Item No. 129

**Property**      **18 Holly Street, Bowral**  
                     **Federation cottage**  
                     **Lot 82 DP 998586**

This property is located in an existing Heritage Conservation Area

Submission by Andrew Learmont strongly objecting to the proposed heritage listing of the property at 18 Holly Street and indicating that in his opinion, does not represent 'Edwardian' architecture. The house is transitional in character and architectural character extends beyond dates identified for historical periods. Irrespective of its date of construction the house makes a positive contribution to an understanding of the development of this part of Bowral in the early 20th century and has representative heritage values. Nos. 10, 15, & 18 Holly Street Bowral are recommended to be **included** in the final heritage list. These properties are located in a Heritage Conservation Area.

##### Item No. 133

**Property**      **1 Jasmine Street, Bowral**  
                     **Victorian weatherboard cottage**  
                     **Lot 1 DP 737616**

This property is located in an existing Heritage Conservation Area

Submission by Bridget Fea objecting to the inclusion of her property as an individual heritage item in the Community Heritage Study, I agree with her assessment and No. 1 Jasmine Street Bowral is recommended to be **excluded** in the final heritage list. The property is located in an existing



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Heritage Conservation Area.

##### Item No. 134

**Property**      **7 Jasmine Street Bowral**  
**'The Rosery'—Victorian cottage and garden—Former Cope's Nursery cottage**  
**Lot 1 DP 603694**  
This property is located in an existing Heritage Conservation Area

Submission by Lynette Gullifa objecting to the potential heritage listing of her property because of the potential impact on property values and because of substantial changes to the original fabric. No. 7 Jasmine Street Bowral 'The Rosery' is recommended to be **excluded** in the final heritage list as a result of substantial internal modifications. The property is located within an existing Heritage Conservation Area.

##### Item No. 151

**Property**      **33-35 Merrigang Street, Bowral**  
**Semi-detached Victorian cottages**  
**SP 17350 & Lots 1 & 2 SP 17350**  
These properties are located in an existing Heritage Conservation Area

Submission by Jon Harris objecting to additional costs involved in future planning applications for listed heritage items. Nos. 33-35 Merrigang Street is recommended to be **excluded** from the final heritage list as a result of substantial modification and development of the site. The property is located in an existing Heritage Conservation Area.

##### Item No. 158

**Property**      **78 Merrigang Street Bowral**  
**Victorian weatherboard cottage (one of a pair)**  
**Lot 3 DP 997017**  
This property is located in an existing Heritage Conservation Area

Submission by Ken Baillie objecting to the individual listing of his property at No. 80 Merrigang Street due to changes over time undertaken with regard to the interiors of the buildings and suggesting that inclusion in a Heritage Conservation Area provides sufficient protection for planning controls to ensure the maintaining of the established character of the streetscape. The principal concern in this regard is any additional financial and bureaucratic impacts on owners of listed properties. I am of the opinion that the buildings make a substantial contribution to an understanding of the development of this part of Bowral and confirm that Nos. 76, 78, 80, & 83 Merrigang Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in the existing Heritage Conservation Area.

##### Item No. 159

**Property**      **80 Merrigang Street Bowral**  
**Victorian weatherboard cottage (one of a pair)**  
**Lot 4 DP 770388**  
This property is located in an existing Heritage Conservation Area

Submission by Pia Riley pointing out potential errors in the proposed listing and objecting to its inclusion as an individual heritage item noting substantial internal changes. I do not consider that these changes nullify the potential listing as provided in the Community Heritage Study. Nos. 76, 78, 80, & 83 Merrigang Street Bowral, are recommended to be **included** in the final heritage list.

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These properties are located in the existing Heritage Conservation Area.

##### Item No. 183

**Property**      **192 Merrigang St Bowral**  
**‘Cotswold’—Interwar rendered masonry house and garden**  
**Part Lot 12 DP 775567**  
This property is located in a proposed Heritage Conservation Area

Submission by Ian Christie McKenzie indicating that the property is not suitable for listing because of later alterations and requesting further consultation with Council staff. At this stage the property is recommended for inclusion based on the Preliminary evidence sheets in the Community Heritage Study. Further investigation may need to be undertaken in future stages of the proposal to list. Nos. 180, 186 & 192 Merrigang Street Bowral, are recommended to be **included** in the final heritage list. These properties are located in the proposed Heritage Conservation Area.

##### Item No. 189

**Property**      **20 Mount Road Bowral (listed as 30a Mount Road)**  
**‘Nott House’—Gothic weatherboard cottage**  
**Lot 3 DP 1033664**  
This property is not located in an existing or proposed Heritage Conservation Area

Submission by Stephen Vey-Cox indicating that he was not aware of the proposed listing and had concerns as to what implications may result on any future development of the property. I am of the opinion that this property should be listed and that future consultation with the owner will result in allaying fears about restrictive controls. My opinion is that this property should be listed as an item. Nos. 21-23, 26 & 30a Mount Road, a group of Gothic style houses are recommended to be **included** in the final heritage list. These properties are not located in an existing or proposed heritage Conservation Area.

##### Item No. 217

**Property**      **71 Shepherd Street, Bowral**  
**‘Cavan’—Federation house, including interiors**  
**Lot 1 DP 1013838**  
This property is located in an existing Heritage Conservation Area

Submission by Catherine and Hugh Seaton objecting to proposed inclusion as a heritage item as the result of substantial modifications and additions. I agree with this assessment and No.71 Shepherd Street Bowral, ‘Cavan’ is recommended to be **excluded** in the final heritage list as it has been substantially altered. The property is located in an existing Heritage Conservation area.

#### **Proposed Bowral Conservation Area Shepherd Street North Extension**

Submission by Ruth Bailey in support of the HCA to protect the existing character of the area. If this area were not associated with two currently listed adjoining Conservation Areas, I would not consider it to meet the threshold for listing as a stand alone conservation area. However as an infill between the two existing areas and given the presence of some contributory elements I recommend that the area be **included** for listing in the final gateway submission with a modification to delete reference to “many” early buildings etc. to be replaced with “some” early buildings.

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REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)

### BUNDANOON

#### Item No. 263

**Property** 14-16 Ebury Street, Bundanoon  
Stone cottage  
Lots 7-8 & 23 Sec 1 DP 1510

This property is not located in an existing or proposed heritage Conservation Area.

Submission by Barry and Glynesse Brown in regard to their property noting that they do not consider it to have heritage value due to changes made over time to the property and requesting the ability to make further submissions in this regard. I agree with the Community Study's recommendation for listing. No.14 Ebury Street Bundanoon, is recommended to be **included** in the final heritage list.

#### Item No. 268

**Property** 48 Erith Street, Bundanoon  
'Fox Hollow'—weatherboard cottage  
Lot D DP 360526

This property is located in an existing Heritage Conservation Area

Submission by Mathew Mellen objecting to the listing of the property due to changes to the surrounding wider setting and later additions to the building. The changes made to the original house are generally sympathetic to its character and do not detract from its heritage potential. Mr. Mellen questions the history provided in the Preliminary Assessment Sheet, however I am unable to say whether it is correct or not. In my opinion its inclusion in the final list is justified especially as it forms part of and is contributory to an existing conservation area. Properties at 6-18 (Bundanoon Hotel), 26 & 48 Erith Street Bundanoon, are recommended to be **included** in the final heritage list. These properties are located in an existing Heritage Conservation Area.

#### Item No. 277

**Property** 71 Penrose Road, Bundanoon  
Former Bundanoon Village Nursery  
Lot 10 DP 8906

This property is not located in an existing or proposed Heritage Conservation Area

Submission by Patricia Susan Arbib objecting to the proposed individual listing of the property with reasons that include changes to the fabric (lack of integrity), changes to the nursery area and inclusion of the rear paddock in any listing. In my opinion the listing has been appropriately carried out and makes sufficient evidence for listing. Therefore No. 71 Penrose Road Bundanoon 'Former Village Nursery' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation Area.

#### Item No. 281

**Property** 31 Railway Avenue, Bundanoon  
'Altona'—Federation bungalow including interiors (first police station)  
Lot 2 DP 564618

This property is located in an existing Heritage Conservation Area

Submission by Joanna Watson and a detailed Heritage Significance Assessment by Heritage Consultant Louise Thom recommending inclusion as an individual heritage item in the final list for submission in the Gateway report. The material provided to be checked against the existing

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Preliminary Information Sheets for the property. No.31 Railway Avenue Bundanoon, 'Altona' is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation Area.

##### Item No. 283

**Property** 115-129 Railway Avenue, Bundanoon  
'Highball House' and two large eucalypt trees (*Eucalyptus cypellocarpa*)  
Lot 28 DP 1065076  
This property is not located in an existing or proposed Heritage Conservation Area

Submission by Brent Marvin commenting on the curtilage of the proposed item given approvals in place for subdivision of the site. The proposed listing should take any approved subdivision into consideration when defining a curtilage for the property. Nos. 115-129 & 159 Railway Avenue Bundanoon, are recommended to be **included** in the final heritage list. These properties are not located in an existing or proposed Heritage Conservation Area.

##### Item No. 284

**Property** 159 Railway Avenue Bundanoon  
'Spring Hill' (formerly 'Lydholme Farm')—house and garden  
Lot 2 DP 304969  
This property is not located in an existing or proposed Heritage Conservation Area

Submission by Matthew Adamo objecting to the inclusion of his property as a heritage item and also to the process undertaken in the Community Heritage Study that led to its identification. While access to the site is limited the landscaping, avenue and the entry gates are clearly significant. Inspection of the site on 'Nearmap' provided some indication of the state of the buildings and while there are some errors in the study it should not be assumed that the property has not been accurately identified as having significant heritage value. Research with the archives of the architect also provided information that confirms that this property is a significant site in the Shire and may be considered to be of State heritage significance. Recommended to be **included** as a Local Heritage Item in the Community Heritage Study for the reasons set out in the Preliminary Evidence Sheet and Statement of Significance. The listing to include the sandstone entry gates and tree lined avenue. Further information on this site is available from the PTW archives in Sydney.

#### Bundanoon Items and proposed extension to the Bundanoon Conservation Area

Submission by Bundanoon Community Association in support of the Study.

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**BURRADOO**

**Item No. 304**

**Property**      **39 Links Road Burradoo**  
                      **‘Ambleside’—Interwar Old English style house**  
                      **Lot E DP 341429**  
                      This property is located in a proposed Heritage Conservation Area

Submission by Deborah Fairbairn in support of the proposed heritage listing. No.39 Links Road Burradoo, ‘Ambleside’ is recommended to be **included** in the final heritage list. The property is located in the proposed Heritage Conservation Area.

**Item No. 310**

**Property**      **543 Moss Vale Road, Burradoo**  
                      **‘Greenlaw’—early cottage, including interiors**  
                      **Lot 1 DP 707907**  
                      This property is not located in an existing or proposed Heritage Conservation Area

Submission by Kirstine and Darryn McKay objecting to listing on the grounds of unfairness and potential hardship. They believe any significance is reduced by later changes and its surroundings have been altered detracting from its original character. These objections do not nullify the current identification and No.543 Moss Vale Road, Burradoo ‘Greenlaw’ is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation Area.

**Links Road & Golf Course Heritage Conservation Area Burradoo**

Submission by Ashley Dean relating to footpaths for pedestrian safety but not addressing any heritage concerns about the proposed inclusion in the Community Heritage Study. The proposed Links Road & Golf Course Heritage Conservation area be **included** in the final areas adopted for inclusion in the gateway submission.

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### EXETER

#### Item No. 343

**Property**      **34 Bundanoon Road, Exeter**  
**Part of Garden, trees and outbuildings of former Searl's Nursery (formerly**  
**'Walhallow')**  
**Lot 5 Sec 10 DP 3373, Lot 28 Sec 10 DP 3373 & Lot 6 DP 1017039**  
This property is located in a proposed Heritage Conservation Area

Submission by John Flett, owner of 34 Bundanoon Road Exeter. This detailed submission provides a significant degree of information regarding his site and the Exeter HCA generally and particularly the landscape features. One of his recommendations is for a 'Significant Tree Register' which is something I have recommended elsewhere in this report. Given the need for detailed assessment of the former 'Searl's Nursery' Nos. 34 & 42 Bundanoon Road and 47 Jensens Lane, Exeter, Searl's Nursery site is recommended to be **deferred** as a heritage item in the final heritage list. While there is some obvious significance associated with this site, it is recommended that a separate study be undertaken to establish significant remains of earlier developments and activities. This property is located in the proposed Exeter Heritage Conservation area.

#### Item No. 351

**Property**      **Jensen's Lane Exeter**  
**Former Jensen's Nursery cottage and garden**  
**Lot 2 DP 1139319**  
This property is located in a proposed Heritage Conservation Area

Submission by Jocelyn Budge and letter from Paul Davies, Heritage Consultant. The owner objects on the grounds that the site was previously excluded from consideration. Mr Davies makes a detailed critique of the process and suggests that the site ought not be listed. I agree that this site has only peripheral significance for former associations in the development of nurseries in Exeter and that it does not reach the threshold for individual listing. Jensen's Lane Exeter, Former Jensen's Nursery is recommended to be **excluded** in the final heritage list. This property is located in the proposed Exeter Heritage Conservation area.

#### Item No. 353

**Property**      **30-44 Middle Road, Exeter**  
**'Apolima' and garden**  
**Lot 1 DP 1258418**  
This property is located in a proposed Heritage Conservation Area

Submission by Jo-Anne Gallop giving a detailed analysis of her understanding of the modifications to the original house and gardens. The property's principal significance lies in the landscape and the front entry, these are substantially intact and the property has historical significance for the village despite later changes. Nos. 5-7 Middle Road & 30 - 44 Middle Road Exeter are recommended to be **included** in the final heritage list. These properties are located in the proposed Exeter Heritage Conservation area.



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**Item No. 354**

**Property**      **The Hill, 72 Middle Road, Exeter**  
**‘The Hill’—Federation Queen Anne style house**  
**Lot 7 DP 1281353**

This property is not located in an existing or proposed Heritage Conservation Area

Submission by Andrew Mylonas objecting to the proposed heritage listing of his property on the basis that he does not consider there is sufficient information to make the identification of his property. I am of the opinion that the property is appropriately identified. No. 72 Middle Road, Exeter, ‘The Hill’ is recommended to be **included** in the final heritage list. The aerial view in the Community Heritage Study appears to be an adjoining property and not ‘The Hill’. The property is not located in an existing or proposed Heritage Conservation area.

**Exeter Village Heritage Conservation Area**

Submission by Brent Morrison objecting to the heritage listing of his property. (Note: property was not identified for individual heritage listing but included within the proposed Exeter Village HCA.) It is common for Heritage Conservation Areas to include ‘neutral’ and even ‘intrusive’ elements. The inclusion of this property within a larger significant cultural landscape is not prejudicial to the owner and does not create any significant or onerous obligations for this property. The recommendation for the Exeter Village HCA is that it be **included** as a Conservation area as set out in the Community Heritage Study. Possible further community consultation should be undertaken regarding expansion of the area and particular planning controls for Exeter Village to preserve the existing heritage character and limit future intrusive development.

Submission by Greig Campbell re Exeter Village HCA voicing concerns regarding any restrictive controls that may result from listing on an approved subdivision in the village. Development will always be assessed for compatibility with surrounding development and does not preclude innovative contemporary architecture. I do not consider that the proposed listing of the Exeter Village, which has overwhelming support from locals will create any significant adverse impacts on future development.

Submission from Ian Scandrett supporting the creation of a Heritage Conservation Area for Exeter Village.

Submission by Adrian Reynolds in support of the HCA with additional comments recommending potential changes to the boundaries suggested in the Community Heritage Study and the listing of an individual property, ‘Ivy Hall’. This review is not able to make recommendations in regard to additional listings, however the current proposed Village listing is recommended for inclusion. Future consideration of additional individual listings may be made in the future.

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**KANGALOON**

**Item No. 365**

**Property**      **1291 Kangaloon Road, Kangaloon**  
**‘Fernleigh’ and outbuildings (one in a group of nine early dairy farm related**  
**properties in Kangaloon)**  
**Lot 1 DP 155407**  
This property is not located in an existing or proposed Heritage Conservation Area

Submission by Brett James Williams providing information regarding recent developments at ‘Fernleigh’ requesting removal of the main house and some outbuildings from any listing for the site. The submission claims that the property was not one of the early dairy farms identified as a group in the Community Heritage Study but that there may be an early cottage on the site that has some heritage values. No.1291 Kangaloon Road, Kangaloon ‘Fernleigh’ (early dairy farm) is recommended to be **included** in the final heritage list subject to further investigation of the site. Potentially this site should be **deferred** at the current time.

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WINGECARRIBEE COMMUNITY HERITAGE STUDY 2021 – 2023  
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REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)

### MITTAGONG

**Item No. 383**

**Property**      **23 Alfred Street, Mittagong**  
**One storey cottage dating from 1889**  
**Lot 32 DP 544312**  
This property is located in an existing Heritage Conservation Area

Submission by Raymond Caldwell supporting the Community Heritage Study generally but indicating the degree of changes undertaken to the subject property in recent times and questioning its integrity as a potential heritage item. I agree with his comments. No. 23 Alfred Street Mittagong, is recommended to be **excluded** in the final heritage list due to the recent modifications. The property is located in an existing Heritage Conservation area.

**Item No. 388**

**Property**      **41 Alfred Street, Mittagong**  
**Sunnybrae (formerly Knockdolian)-late Victorian cottage**  
**Lot 107 Sec J DP 1289**  
This property is located in an existing Heritage Conservation Area

Submission by Geoffrey and Anne Wood objecting to the planning controls that may arise from the proposed heritage listing of their property. Notwithstanding the issues of Planning Controls No.s 25, 29, 36, 39, 41, 47, 49 & 52 Alfred Street Mittagong, are recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation area.

**Item No. 406**

**Property**      **1 Edward St Mittagong**  
**Honiton**  
**Lot 101 DP 1163283**  
This property is located in an existing Heritage Conservation Area

Submission by Lachlan Pierce objecting to the proposed heritage listing and including a report by Heritage consultant, Patrick Wilson which provides a detailed assessment that concludes that later inter war modifications to the presentation of the house have marred its potential for identification as an individual heritage item and suggesting that it is contributory to the existing Heritage Conservation Area. I consider that the place does provide significant evidence of the development of this section of Mittagong and that the changes which are reversible do not preclude its inclusion in the final heritage schedule. No.s 1, 2, & 4 Edward Lane & No.s 1, 6, 8, 13 & 24 Edward Street Mittagong, are recommended to be **included** in the final heritage list. These properties are located in the existing Heritage Conservation area.

**Item No. 411**

**Property**      **6 Helena St, Mittagong**  
**House**  
**Lot 100 DP 1163283**  
This property is located in an existing Heritage Conservation Area

Submission by Raeleigh Ann Napier concerned about the state of the roads adjoining their property and the state of some listed buildings which are falling into disrepair due to neglect. Their concerns are outside the Peer Review process for verifying heritage value. No.s 6 & 8 Helena Street Mittagong, are recommended to be **included** in the final heritage list. The properties are located in

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

an existing Heritage Conservation area.

**Item No. 412**

**Property**      **8 Helena Street, Mittagong  
Sunnyside  
Lot 2 DP 501211**

This property is located in an existing Heritage Conservation Area

Submission by Therese and Carolyn Pagett

Submission by Desmond Pagett

Submission by Vincent Pagett

These submissions are in regard to the potential heritage listing of their family home claiming undue financial burden of ongoing maintenance and repairs. These objections are not relevant to identification of a heritage items and do not invalidate the current identification in the Community Heritage Study. No.s 6 & 8 Helena Street Mittagong, are recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation area.

**Item No. 416**

**Property**      **19-21 Old Hume Hwy, Mittagong  
Shangri-La and some interiors  
Lot 1 DP 1089177 & Lot 2 DP 1089177**

This property is located in an existing Heritage Conservation Area

Submission by Robert Russell and Alexandra Lollback claiming the process undertaken to list heritage items in the Shire is not valid and that consultation provided was inadequate. They are also concerned that future changes that may be sought for the property would be precluded by the listing. They object on the grounds of potential financial implications arising from the listing of this property. The house is a good representative example of an inter-war bungalow which in my opinion has been appropriately identified in the Community Heritage Study. The financial implications of listing are not a matter that I can comment on. No.s 15, 19, & 42 Old Hume Highway Mittagong, are recommended to be **included** in the final heritage list.

**Item No. 417**

**Property**      **42 Old Hume Highway, Mittagong  
Yarrowonga Guest House (pre 1884)  
Lot 1 Sec 3 DP 33 & Lot 2 DP 668073**

This property is not located in an existing or proposed Heritage Conservation Area

Submission by Terri Connellan suggesting that her property has been substantially rebuilt since she bought it and that heritage listing would restrict future development and have an adverse impact financially if sold. I am of the opinion that the property is representative of its type and is correctly identified in the Community Heritage Study despite repairs and modifications over time. Nos 15, 19, & 42 Old Hume Highway Mittagong, are recommended to be **included** in the final heritage list.

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#### REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)

**Item No. 432**

**Property**      **174 Oxley Drive, Mittagong**  
**Redlands including Interiors and Garden**  
**Lot 703 DP 875691**

This property is not located in an existing or proposed Heritage Conservation Area

Submission by Honey Sherman in support of the proposal especially related to the gardens. No.s 31, 33, 35, 39, 155, & 174-178 Oxley Drive Mittagong, are recommended to be **included** in the final heritage list.

**Item No. 434**

**Property**      **2 Pioneer Street Mittagong**  
**Weatherboard cottage - childhood home of Lorrae Desmond**  
**Part Lot 222 Sec U DP 20**

This property is located in a proposed Heritage Conservation Area

Submissions by Avi Bains objecting to the listing as a result of some fire damage which he claims is beyond repair. No. 2 Pioneer Street Mittagong, is presently unoccupied and may be under threat of demolition. While the structure is dilapidated, it appears capable of conservation and adaptation with further rear additions. The building is visually prominent as the end of the early development in Pioneer Street before the commercial area and complements other proposed heritage items in an existing Heritage Conservation Area. It is recommended to be **included** in the final heritage list.

**Item No. 449**

**Property**      **71 Southey Street, Mittagong**  
**House**  
**Lot 1 DP 1192204 & Lot 2 DP 1192204**

This property is not located in an existing or proposed Heritage Conservation Area

Submission by Jenny Zantis supporting the proposed listing and offering additional information regarding the property. No. 71 Southey Street Mittagong, is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

**Item No. 452**

**Property**      **38 Waverley Parade, Mittagong**  
**'Wychwood'—house (including some interiors) and garden**  
**Lot 1 DP 507745**

This property is not located in an existing or proposed Heritage Conservation Area

Submission by Maree Tynan indicating that she would wait for the final reports to make any detailed submission regarding her property which is recommended for inclusion in the Community Heritage Study. No 38 Waverley Parade Mittagong, 'Wychwood' is recommended to be **included** in the final heritage list. The property is not located in an existing or proposed Heritage Conservation area.

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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

**MOSS VALE**

**Item No. 480**

**Property**      **79 Broughton Street Moss Vale**  
**'Trentwood'—house and garden**  
**Lot 22 DP 625790**

This property is not located in an existing or proposed Heritage Conservation Area

Submission by Vivienne McCreery objecting to the proposed heritage listing and questioning the facts and assessments made in the Community Heritage Study. Her principal concern appears to be her safety. I see no reason why listing would affect her use and occupation of the site or generate any significant risk. No. 79 Broughton Street Moss Vale, 'Trentwood' is recommended to be **included** in the final heritage list. This property is not located in an existing or proposed Heritage Conservation area.

**Item No. 508**

**Property**      **10 Throsby Street Moss Vale**  
**Wroxton - Federation house**  
**Lot 41 DP 1098839**

This property is located in an existing Heritage Conservation Area

Submission by Danielle Le Guay objecting to the proposed heritage listing of this property because of the additional layer of planning controls over its current Conservation area status. The objection contains several claims regarding authorship of the Community Heritage Study. Notwithstanding the objections I am of the professional opinion that the property warrants listing for the reasons identified in the Preliminary Evidence Sheet and would recommend its inclusion in the next stage of consultation prior to the presentation in the Gateway submission. No. 10 Throsby Street Moss Vale, 'Wroxton' is recommended to be **included** in the final heritage list. This property is located in an existing Heritage Conservation area.

**Item No. 510**

**Property**      **7 Valetta Street Moss Vale**  
**'Tarrangower'—house (including interiors) and trachyte retaining wall, fence**  
**and steps**  
**Lot 1 DP 798790**

This property is located in an existing Heritage Conservation Area

Submission by Janet King objecting to the inclusion of the interiors of her property in the proposed listing. This matter is raised generally elsewhere in the Peer Review and is not generally recommended unless specific significant interiors have been identified. No. 7, 18, 28, 32-34 & 51 Valetta Street Moss Vale, are all recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation area.

**Item No. 512**

**Property**      **28 Valetta Street Moss Vale**  
**St Oswalds and Garden**  
**Lot 1 DP 193874 & Lot 1 DP 157205**

This property is located in an existing Heritage Conservation Area

Submission by Roslyn Allan a long-time resident offering additional information that could be used when finalising heritage listings in the future. No. 7, 18, 28, 32-34 & 51 Valetta Street Moss Vale, are all recommended to be **included** in the final heritage list. The properties are located in an existing Heritage Conservation area.

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#### REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)

##### ROBERTSON

###### Item No. 527

**Property** 54 - 56 Burrawang Street Robertson  
'Kookaburra Cottage' & 'Potters Cottage'—weatherboard houses  
Lot 9 Sec 23 DP 758882

This property is not located in an existing or proposed Heritage Conservation Area

Submission from Annalise and Nadine Wild voicing concerns regarding the proposed heritage listing of their property and comparing the proposed listing with the criteria of the NSW Heritage Office Guidelines. In my opinion the study has followed the guidelines appropriately and despite some levels of change to original fabric, the property reaches a threshold for consideration for individual heritage listing. No. 54-56 Burrawang Street Robertson, 'Kookaburra Cottage' & 'Potters Cottage' are recommended to be **included** in the final heritage list.

###### Item No. 530

**Property** 77-79 Burrawang Street, Robertson  
Californian bungalow (one of a group of three)  
Lot 1 DP 1126925

This property is located in a proposed Heritage Conservation Area

Submission by Tegan Mattila commending the Community Heritage Study and the conservation of Robertson's particular heritage characteristics. She acknowledges the character of her property but indicates that there would be sufficient protection of the house by its inclusion in the Robertson Conservation Area. I am of the opinion that the property reaches a threshold for individual inclusion as a heritage item. No. 77 - 79 Burrawang Street Robertson, Californian Bungalow is recommended to be **included** in the final heritage list.

##### WINGELLO

###### Item No. 608

**Property** 13-15 Sydney St Wingello  
Rail cottage  
Lot 1 DP 867647

This property is not located in an existing or proposed Heritage Conservation Area

Submission by Ian Ross providing clarification in regard to the identification of former railway properties in Sydney Street and requesting further consultation with Council regarding the proposed listing. The houses at Nos. 9-13 Bumballa Road, Wingello are appropriately identified and are recommended to be **included** in the final Heritage list. The properties are not located in an existing or proposed Heritage Conservation Area.



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**REVIEW OF HERITAGE LISTINGS by ROBERT STAAS, B. Arch., M.B. Env., Dip Cons (York)**

**GENERAL SUBMISSIONS ON COMMUNITY HERITAGE STUDY**

Submission by Caroline Cosgrove, Historian / Heritage Consultant and member of the Bundanoon History Group supporting the findings of the Community Heritage Study and praising the authors rigorous approach to the identification of heritage in the Southern Highlands.

submission by Kathy Barnsley – general submission on the study concerned about the number of proposed heritage items and conservation areas in the Community Heritage Study. Her concerns go to the preservation rather than conservation of much of the built environment and the additional 'red tape' requirements that would affect her potential future clients. While there is some truth in her arguments they do not negate the need to identify and list heritage items and conservation areas to protect the established character and history of the Southern Highlands which is demonstrated by many of the buildings and landscapes identified in this study.

Submission by David Phillip Hayman endorsing the Community Heritage Study and suggesting additional potential listings. I note that there is potential for additional listings, however that is beyond the scope of this Peer Review. Corrections noted in Mr Hayman's submission should be made to the final heritage inventory.

Submission by Stuart Read – general submission in strong support of the study and detailed support in regard to gardens and landscapes and providing advice to Council in relation to potential future action in relation to landscapes. The information in Mr Read's submission is important for Council to consider in future management decisions. As mentioned elsewhere in this Peer Review, the issue of Gardens and Trees requires special consideration and may not be appropriately dealt with in the current listing process without detailed assessments being made. A number of sites have been recommended for deferral in this regard pending further investigation. The establishment of a Significant Tree Register is an important recommendation but is outside the scope of this Peer Review. I commend Mr Read's submission to Council for further investigation.

Submission by National Trust Southern Highlands Branch – general submission in support of the study recommending a process of review that is structured and rigorous carried out by independent experts and seeking to work alongside Council in achieving these goals.

Submission by Bundanoon History Group in general support of the study and its recommendations.

Submission by David Brennen in support of the study and speedy implementation of the results.

Submission by Richard Hastings– general submission of support on the study and its future implementation.

Submission by Andrew Kennard in general support of the Community Heritage Study as a positive planning outcome for the region.

Submission by Ian Bowie in general support of study and support for investigation of properties in Warenda Street Bowral for heritage value. The submission relates to the degree of information available for future assessment and the need to fully document all available heritage information in dealing with future planning outcomes. It is recommended that future study be undertaken in this regard to support future planning decisions in relation to identified properties and conservation areas.

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**WINGECARRIBEE COMMUNITY HERITAGE STUDY 2021-2023  
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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
1	Balmoral	Bolans Road	Balmoral Cemetery	LOT 7003 DP 1072638	Yes	Yes
2	Balmoral	5 Railway Parade	Former Balmoral School	Lot 2 DP 2764	No	No
3	Balmoral	27 Railway Parade	Late Victorian weatherboard cottage	Lot 9 Sec 2 DP 2500	Yes	Yes
4	Balmoral	31 Railway Parade	Late Victorian weatherboard cottage	Lot 111 DP 1088006	Yes	Yes
5	Balmoral	33 Railway Parade	Late Victorian weatherboard cottage	Lot 13 Sec 2 DP 2500 & Lot 1 DP 1024959	Yes	Yes
6	Balmoral	37 Railway Parade	Truro - Brick Victorian homestead including interiors	Lot 209 DP 1240094	Yes	Yes
7	Berrima	224 Greenhills Road	'Cordeaux Cottage'—sandstone cottage	Lot 6 DP 710577	Yes	Yes
8	Berrima	38 Jellore Street	Berrima Bridge Nursery—house, outbuildings, garden and plants	Lots 1-2 Sec 6 DP 758098 & Lot 1 DP 1038911	Yes	Yes
9	Berrima	Market Place	Oak Tree planted by Sir Henry Parkes	Lot 1 DP 1152987	Yes	No
10	Berrima	3020 Old Hume Highway	'Bendooley'—sandstone Georgian homestead (including interiors), gardens and grounds (including trees)	Lot 3 DP 584423	Yes	Yes
11	Berrima	7-9 Oldbury Street	Stone Cottage	Lot 1 DP 806686 & Lot 1 DP 47659	Yes	Yes
12	Berrima	1 Raglan Street	Tom Mitchell's Slab Hut	Lot 100 DP 1185105	Yes	Yes
13	Bowral	1 Aitken Road	'Sunny Corner'—1940s house	Lot 1 DP 19117	No	No
14	Bowral	12 Aitken Road	'Glencoe'—Interwar house designed by Verton Bruce Smith	Lot 10 DP 1098108	Yes	No
15	Bowral	14 Aitken Road	'Aroha'—house	Lot 61 DP 1192648	Yes	Yes
16	Bowral	16 Aitken Road	New house	Lot 62 DP 1192648	No	No
17	Bowral	18 Aitken Road	House	Lot 7 DP 11348 & Lot 5 DP 798510	No	No
18	Bowral	20-22 Aitken Road	'Comer's House'—Interwar house	Lot 8 DP 11348 & Lot 9 DP 11348	Yes	No
19	Bowral	24 Aitken Road	Interwar house	Lot 10 DP 11348	Yes	No
20	Bowral	26 Aitken Road	House	Lot 1 DP 316408	No	No

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
21	Bowral	29 Aitken Road	1970s house	Lot 23 DP 11348	No	No
22	Bowral	30 Aitken Road	1980s house	Lot 3 DP 316408	No	No
23	Bowral	31 Aitken Road	1970s house	Lot 22 DP 11348	No	No
24	Bowral	28 Aitken Road	Victorian weatherboard cottage	Lot 2 DP 316408	Yes	Yes
25	Bowral	43 Aitken Road	House	Lot 1 DP 1151362	No	No
26	Bowral	43A Aitken Road	New house	Lot 1 DP 1151362	No	No
27	Bowral	5 Alcorn Street	Weatherboard worker's cottage	Lot 71 DP 775295	No	Yes
28	Bowral	2 Alfreda Street	'Willyama'—Spanish Mission style house	Lot 1 DP 1121110	Yes	Yes
29	Bowral	83 Ascot Road	Weatherboard worker's cottage	Lot 441 DP 1202888	Yes	Yes
30	Bowral	7 Banksia Street	Federation bungalow with integrated front fence	Lot B DP 157621	Yes	No
31	Bowral	8 Banksia Street	Victorian masonry cottage with slate roof	Lot 1 DP 560143	Yes	Yes
32	Bowral	10 Banksia Street	Interwar Californian bungalow	Lot 3 DP 12768	Yes	Yes
33	Bowral	77 Bendooley Street	Interwar house including interiors	Lot 5 DP 1246673	Yes	Yes
34	Bowral	90 Bendooley Street & 30 Kangaloon Road	'Beatrice Park'—house (including interiors) and garden	Lots 1 & 2 DP 831681	Yes	Yes
35	Bowral	256 Bong Bong Street	National Australia Bank	Lot 12 DP 748075	No	No
36	Bowral	Bong Bong Street	Bowral War Memorial Park	Lot 7300 DP 1125726 (Crown Reserve 56940)	Yes	Yes
37	Bowral	302-306 Bong Bong Street	'Springett's Arcade'—first floor façade	Lot 2 DP 706941	Yes	Yes
38	Bowral	329-339 Bong Bong Street	Shops (former Whatman's Garage)	Lot 10 DP 773978	No	No
39	Bowral	408-412 Bong Bong Street	Bowral Hotel	Lot 1 DP 826176	Yes	Yes
40	Bowral	421-425 Bong Bong Street	Former Bowral Spare Parts	Lot 1 DP 744028	Yes	Yes
41	Bowral	28 Boolwey Street	Victorian weatherboard cottage with bullnose verandah	Lot 1 DP 995227	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
42	Bowral	37 Boolwey Street	Interwar house	Lot 31 DP 1020279	Yes	No
43	Bowral	39 Boolwey Street	New house	Lot 4 Sec B DP 11838	No	No
44	Bowral	41 Boolwey Street	House	Lot 5 Sec B DP 11838	No	No
45	Bowral	43 Boolwey Street	House	Lot 6 Sec B DP 11838	No	No
46	Bowral	33 Boolwey Street (aka 2 Edward Street)	Interwar house	Lot 1 Sec B DP 11838	Yes	Yes
47	Bowral	45 Boolwey Street	Brick house	Lot 2 Sec D DP 11838	Yes	No
48	Bowral	47 Boolwey Street	New house	Lot 1 Sec D DP 11838	No	No
49	Bowral	87 Bowral Street	Interwar weatherboard house with slate roof including some interiors	Lot 1 Sec A DP 8185 & Lot 1 DP 1057181	Yes	Yes
50	Bowral	92 Bowral Street	Brick house	Lot 20 Sec C DP 11838	No	No
51	Bowral	94 Bowral Street	'Wiston Cottage'—Interwar brick and tile cottage	Lot 19 Sec C DP 11838	Yes	No
52	Bowral	96 Bowral Street	Modest post-war cottage	Lot 18 Sec C DP 11838	Yes	No
53	Bowral	98 Bowral Street	'Whitstable'—substantial Californian bungalow	Lot 17 Sec C DP 11838	Yes	Yes
54	Bowral	100 Bowral Street	Interwar two storey house	Lot 16 Sec C DP 11838	Yes	No
55	Bowral	102 Bowral Street	'Elvador'—Interwar Mediterranean style house	Lot 15 Sec C DP 11838	Yes	Yes
56	Bowral	104 Bowral Street	1950s house	Lot 1 DP 323163	No	No
57	Bowral	106 Bowral Street	Interwar architect designed house	Part Lot 13 Sec C DP 11838	Yes	Yes
58	Bowral	116 Bowral Street	Interwar house	Lot 11 Sec E DP 11838	Yes	Yes
59	Bowral	118 Bowral Street	Post-war house	Lot 10 Sec E DP 11838	Yes	Yes
60	Bowral	120 Bowral Street	Federation house	Lot 9 Sec E DP 11838	Yes	Yes
61	Bowral	122 Bowral Street	'Picardy'—house	Lot 8 Sec E DP 11838	No	No
62	Bowral	124 Bowral Street	'Ingelara'—post-war house	Lot A DP 356567	Yes	No
63	Bowral	126 Bowral Street	'Spindleberries'—post-war house	Lot 11 DP 597780	Yes	No
64	Bowral	128 Bowral Street	House	Lot 12 DP 597780	No	No
65	Bowral	1 Bradman Avenue	House	Lot 12 DP 567917	No	No
66	Bowral	2 Bradman Avenue	House	Lot 62 DP 1198883	No	No
67	Bowral	3 Bradman Avenue	House	Lot 2 Sec E DP 11838	No	No

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
68	Bowral	5 Bradman Avenue	House	Lot 3 Sec E DP 11838	No	No
69	Bowral	7 Bradman Avenue	Interwar bungalow	Lot 4 Sec E DP 11838	Yes	No
70	Bowral	9 Bradman Avenue	Two storey house	Lot 5 Sec E DP 11838	No	No
71	Bowral	12 Bradman Avenue	Post-war house	Lot A DP 354399	Yes	No
72	Bowral	14 Bradman Avenue	Mid-20th Century house	Lot B DP 354399	No	No
73	Bowral	16 Bundaroo Street	Victorian cottage	Lot 30 Sec B DP 975353	Yes	Yes
74	Bowral	22 Bundaroo Street	Victorian cottage with bullnosed verandah	Lot 1 DP 709655	Yes	Yes
75	Bowral	27 Bundaroo Street	'St Chads'—Interwar Arts & Crafts bungalow and interiors	Lot 20 DP 9661 & Lot 21 DP 9661	Yes	Yes
76	Bowral	29 Bundaroo Street	'Winton'—Interwar house including trachyte fence	Lot 19 DP 9661	Yes	Yes
77	Bowral	42 Bundaroo Street	'Victory Cottage'—two storey trachyte-fronted terrace house	Lot 21 DP 844779	Yes	Yes
78	Bowral	44-46 Bundaroo Street	Brick Georgian style house	Lot 22 DP 844779	No	Yes
79	Bowral	9 Carlisle Street	Weatherboard cottage with iron lace	Lot 70 DP 714736	Yes	No
80	Bowral	2-18 Centennial Road	Waterbrook and gardens (Former O.L.S.H. convent)	Lot 1 DP 1101892, Lot 2 DP 1101892, Lot 4 DP 1109214, Lot 5 DP 1109214, Lot 6 DP 1109214, Lot 7 DP 1109214, Lot 8 DP 1109214, Lot 9 DP 1109214, Lot 10 DP 1109214 & Lot 11 DP 1109214	No	No
81	Bowral	13 Centennial Road	'Glen Parc'—house and garden	Lot 12 DP 860365	No	No
82	Bowral	43-47 Centennial Road	'Craigieburn'—homestead, golf course and garden including bunya pines	Lot 56 DP 664260, Lot 1 DP 347273 & Part Lot 2 DP 960916	Yes	Yes
83	Bowral	54 Centennial Road	'Cotswold Cottage' and interiors (formerly The Cottage Tea Room)	Lot 9 DP 26372	Yes	Yes
84	Bowral	1 Church Street	1960's house	Lot 3 Sec C DP 11838	No	No
85	Bowral	1A Church Street	Californian bungalow	Lot 4 Sec C DP 11838	Yes	No

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
86	Bowral	3 Church Street	House	Lot 5 Sec C DP 11838	Yes	No
87	Bowral	4 Church Street	'Redwood'—Interwar house (including interiors) and garden (including Californian Redwood Tree planted in 19th Century)	Lot B DP 333876	Yes	Yes
88	Bowral	5 Church Street	Californian bungalow	Lot 6 Sec C DP 11838	No	No
89	Bowral	6 Church Street	Post-war house	Lot 34 DP 1155558	No	No
90	Bowral	7 Church Street	House	Lot 7 Sec C DP 11838 & Lot 14 DP 659020	No	No
91	Bowral	8 Church Street	House	Lot 11 Sec B DP 11838	No	No
92	Bowral	9 Church Street	'Wirra Willa'—Federation house	Lot 8 Sec C DP 11838	Yes	Yes
93	Bowral	10 Church Street	House	Lot 10 Sec B DP 11838	No	No
94	Bowral	5 Crago Lane	'Highdown'—Victorian Gothic weatherboard house including garden and interiors	Lot 8 DP 667524	Yes	Yes
95	Bowral	18 Daphne Street	'The Little Foxes'—Federation Gothic weatherboard cottage	Lot 10 DP 541251	No	No
96	Bowral	20 Daphne Street	'Didsbury'—Federation house	Lot 6 Sec K DP 979526	No	No
97	Bowral	6 David Street	Berida Hotel (former Berida Manor)	Lot 17 SP 36297	Yes	Yes
98	Bowral	1 Edward Street	'Bettws-y-coed'—single storey Interwar house	Lot 21 Sec C DP 14661	Yes	Yes
99	Bowral	3 Edward Street	'Aveley'—Interwar Mediterranean style house	Lot 22 Sec C DP 14661	Yes	No
100	Bowral	5 Edward Street	Brick and tile house	Lot 23 Sec C DP 14661 (Vol 4091 Fol 00085)	Yes	Yes
101	Bowral	6 Edward Street	Interwar brick house	Lot 14 Sec B DP 11838	Yes	No
102	Bowral	7 Edward Street	Brick and tile Californian bungalow	Lot 24 Sec C DP 14661	Yes	Yes
103	Bowral	9 Edward Street	Californian bungalow	Lot 25 Sec C DP 14661	Yes	No
104	Bowral	3 Elm Street	'Banbury Cottage'—early 20th century weatherboard cottage	Lot 18 DP 716846	Yes	No

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
105	Bowral	5 Elm Street	'Teddington'—Victorian villa and former home of Alf Stephens Snr	SP 20376 & Lots 1 & 2 SP 20376	Yes	Yes
106	Bowral	6 Elm Street	'Lorien'—Federation house	Lot 1 DP 739413	No	No
107	Bowral	7 Elm Street	Freestanding cottage from the Victorian period	Lot 1 DP 112377	No	No
108	Bowral	9 Elm Street	'Duck Cottage'—Victorian weatherboard cottage including interiors	Lot 202 DP 595798	Yes	Yes
109	Bowral	10 Elm Street	Victorian cottage	Lot 3 DP 152058	No	Yes
110	Bowral	11 Elm Street	Victorian cottage including interiors	Lot 1 DP 719401	Yes	Yes
111	Bowral	26 Elm Street	Federation house including interiors, particularly hallway	Lot 22 DP 880658	Yes	No
112	Bowral	1 Funston Street	Late Victorian brick house and trachyte gate posts	Lot 12 DP 790730	Yes	Yes
113	Bowral	16 Gladstone Road	'The Leightons'—Victorian house	Lot 6 DP 1189572	Yes	Yes
114	Bowral	23 Gladstone Road	'The Ridge'—house (including interiors) and garden	Lot 1 DP 84446	Yes	Yes
115	Bowral	27 Gladstone Road	'Brightlands'—1888 house, garden and stables	Lots 1 and 2 DP 130349	Yes	No
116	Bowral	5 Glebe Street	House	Lot 1 DP 1134760	No	No
117	Bowral	7 Glebe Street	House	Lot 2 DP 1134760	No	No
118	Bowral	12 Glebe Street	Interwar bungalow	Lot 4 Sec D DP 11838	Yes	No
119	Bowral	16 Glebe Street	Interwar bungalow	Lot 61 DP 1198883	Yes	No
120	Bowral	18 Glebe Street	Federation style house from Interwar period	Lot 11 DP 567917	Yes	No
121	Bowral	22 Glebe Street	Interwar bungalow	Lot 15 Sec E DP 11838	Yes	No
122	Bowral	24 Glebe Street	Interwar Californian bungalow	Lot 14 Sec E DP 11838	Yes	No
123	Bowral	26 Glebe Street	Interwar cottage	Lot 13 Sec E DP 11838	Yes	No
124	Bowral	28 Glebe Street	Cottage	Lot 12 Sec E DP 11838	Yes	No
125	Bowral	4 Hamilton Avenue	'Byways'—weatherboard house and garden	Lot 20 DP 1057908	Yes	Yes



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126	Bowral	8 Holly Street	Victorian cottage	Lot 11 DP 1110157	Yes	Yes
127	Bowral	10 Holly Street	Victorian cottage	Lot 120 DP 1000618	Yes	Yes
128	Bowral	15 Holly Street	Californian Bungalow	Lot 1 DP 782242	Yes	Yes
129	Bowral	18 Holly Street	Federation cottage	Lot 82 DP 998586	Yes	Yes
130	Bowral	31 Holly Street	'Old Meadows'—Victorian weatherboard house	Lot 912 DP 1244018	Yes	No
131	Bowral	45 Holly Street	Victorian weatherboard cottage—former home of P.L. Travers, author of Mary Poppins	Lot 161 DP 1048529	Yes	Yes
132	Bowral	7 Ivy Street	'Wilga'—house	Lot 1 DP 712833	No	No
133	Bowral	1 Jasmine Street	Victorian weatherboard cottage	Lot 1 DP 737616	Yes	No
134	Bowral	7 Jasmine Street	'The Rosery'—Victorian cottage and garden—Former Cope's Nursery cottage	Lot 1 DP 603694	Yes	No
135	Bowral	10 Jasmine Street	'Emmalay Cottage'—Californian bungalow	Lot 1 DP 744141	No	No
136	Bowral	9 Kangaloon Road	Pine trees associated with 'Iverbucks' Estate	Lot 1 DP 270566	No	No
137	Bowral	25-43 Kangaloon Road	Bowral Golf Course including Club House (including some interiors) and former Caretaker's Cottage	Lots 45-48 and Lot 51 Sec G DP 4380, Lot 1 DP 805565, Lot 39 DP 9084, Lot 1 DP 119005, Lot 1 DP 311009, Lot 2 DP 1015623 & Lot 10 DP 1085127	Yes	Yes
138	Bowral	34B Kangaloon Road	'Landshome'—house	Lot 36 DP 842826	No	No
139	Bowral	36 Kangaloon Road	'Ranelagh'—Spanish Mission style house	Lot 6 DP 12732 & Lot 4 DP 339390	Yes	Yes
140	Bowral	40 Kangaloon Road	'Kenilworth'—Californian bungalow and surrounding garden	Lot 125 DP 879002	Yes	Yes
141	Bowral	56 Kangaloon Road	House (now demolished)	Lot 100 DP 1280617	No	No
142	Bowral	58 Kangaloon Road (aka 32 Aitken Road)	'Tudor Corner'—two storey Tudor style house	LOT 14 DP 11348	Yes	Yes
143	Bowral	60 Kangaloon Road	House	Lot 2 DP 842038	No	No

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
144	Bowral	15 Merilbah Road	'Wirreanda'—Sydney School of Architecture style house, including interiors and garden	Lot 23 DP 20804	Yes	Yes
145	Bowral	16 Merilbah Road	Sydney School of Architecture style house, including interiors	Lot 12 DP 536301	Yes	Yes
146	Bowral	16 Merrigang Street	Bowral Fire Station	Lot B DP 332358	Yes	Yes
147	Bowral	22 Merrigang Street	'Merrigang'—single storey Victorian rendered cottage	Lot 2 DP 790218	Yes	Yes
148	Bowral	23 Merrigang Street	'Bodlondeb'—house and early Camellia planting	Lot B DP 69100	Yes	Yes
149	Bowral	25-27 Merrigang Street	'Withycombe'—two storey Italianate house	Lot 23 DP 530121	Yes	Yes
150	Bowral	29-31 Merrigang Street	'Annandale'—weatherboard Victorian house including interiors and garden	Lot 1 DP 154869	Yes	Yes
151	Bowral	33-35 Merrigang Street	Semi-detached Victorian cottages	SP 17350	Yes	No
152	Bowral	37-39 Merrigang Street	'Apollonia'—Gothic style weatherboard house	Lot 1 DP 432372	Yes	Yes
153	Bowral	50 Merrigang Street	'Jubilee Villas'—two storey terrace houses	Lot 2 Sec 16 DP 976576	Yes	Yes
154	Bowral	51-53 Merrigang Street	'Benderry'—two storey late Victorian house	Lots 1-2 & 4-5 DP 500342	Yes	Yes
155	Bowral	63 Merrigang Street	'Ellengowan'—single storey Victorian weatherboard house with bullnosed verandah, including interiors	Lot 1 DP 1015853	Yes	Yes
156	Bowral	74 Merrigang Street	Concrete block house	Lot 1 DP 795454	No	No
157	Bowral	76 Merrigang Street	'Wingham'—Victorian Italianate house	Lot 2 DP 795454	Yes	Yes
158	Bowral	78 Merrigang Street	Victorian weatherboard cottage (one of a pair)	Lot 3 DP 997017	Yes	Yes
159	Bowral	80 Merrigang Street	Victorian weatherboard cottage (one of a pair)	Lot 4 DP 770388	Yes	Yes
160	Bowral	83 Merrigang Street	Arts and Crafts style house from the Interwar period	Lot 1 DP 782248	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
161	Bowral	101 Merrigang Street	Single storey early 20th century cottage	Lot A DP 157120	No	No
162	Bowral	109 Merrigang Street	'Coniston'—Federation house (former shop)	Lot 2 DP 798364 & Lot 2 DP 1181520	Yes	Yes
163	Bowral	112 Merrigang Street	Californian bungalow	SP 70950	No	No
164	Bowral	116 Merrigang Street	Victorian brick house	Lot 1 DP 780802	Yes	No
165	Bowral	119 Merrigang Street	'Rippowam'—Interwar house and garden	Lot 3 DP 882137	Yes	No
166	Bowral	120 Merrigang Street	'Goldsbrough Law'—Victorian weatherboard house including interiors	Lot 3 DP 733864	Yes	Yes
167	Bowral	122 Merrigang Street	Victorian weatherboard cottage	Lot B DP 159865	Yes	Yes
168	Bowral	124-126 Merrigang Street	'Bentham'—Victorian weatherboard house including interiors	Lot 1 DP 707330	Yes	Yes
169	Bowral	132 Merrigang Street	Single storey weatherboard house	Lot 35 DP 1108023	No	No
170	Bowral	138 Merrigang Street	Former 'Waihemo' gardener's cottage, including garden	Lot 1 DP 587217	Yes	No
171	Bowral	142B Merrigang Street	'Chifley' (former 'Waihemo')—house (including interiors, especially library wing) and garden including hot house remains, trachyte walling and early rhododendron planting	Lot 1 DP 222568	Yes	Yes
172	Bowral	144 Merrigang Street	Weatherboard cottage	Lot 1 DP 825430	Yes	No
173	Bowral	148 Merrigang Street	Victorian weatherboard cottage	Lot 3 DP 802468	Yes	Yes
174	Bowral	158 Merrigang Street	Cottage	Lot 158 DP 1099950	No	No
175	Bowral	159 Merrigang Street	'Rose Manor'—two storey Arts and Crafts style house in roughcast render, including garden	Lots 8-10 Sec A DP 192732	Yes	Yes
176	Bowral	164 Merrigang Street	Victorian cottage	Lot 15 DP 549042	Yes	Yes
177	Bowral	166 Merrigang Street	'Canberra'—Victorian weatherboard cottage with decorative bargeboards, including interiors	Lot 1 DP 567744	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
178	Bowral	170 Merrigang Street	Queen Anne style weatherboard house, including interiors	Lot 2 DP 779350	Yes	Yes
179	Bowral	173-179 Merrigang Street	'Eastover'—Victorian house including front sandstone wall	Lots 15-18 DP 83525	Yes	Yes
180	Bowral	174 Merrigang Street	'Green Gables'—single storey 20th century house	Lot 3 DP 808145	No	No
181	Bowral	180 Merrigang Street	'Tryon'—late Victorian timber shingle house and garden, including front trachyte fence	Lot 7 DP 29303	Yes	Yes
182	Bowral	186 Merrigang Street	'Beulah'—Victorian Italianate house	Lot 10 DP 775567	Yes	Yes
183	Bowral	192 Merrigang Street	'Cotswold'—Interwar rendered masonry house and garden	Part Lot 12 DP 775567	Yes	Yes
184	Bowral	Mona Road	1935 Wing of Bowral Public Hospital	Lot 4 DP 858938	Yes	Yes
185	Bowral	450 Moss Vale Road	'Blairgowrie'—Federation house	Lot 2 DP 513337	Yes	Yes
186	Bowral	2 Mount Road	Victorian cottage	Lot 1 DP 795444	Yes	Yes
187	Bowral	21-23 Mount Road	'Kowana'—early Victorian house with slate roof, including interiors	Lot 1 DP 910353	Yes	Yes
188	Bowral	26 Mount Road	'Fairbanks'—Gothic weatherboard house	Lot 1 DP 917490	Yes	Yes
189	Bowral	30A Mount Road	'Nott House'—Gothic weatherboard cottage	Lot 3 DP 1033664	Yes	Yes
190	Bowral	45 Mount Road	Three flats built by Alf Stephens	Lot 11 DP 20797	Yes	Yes
191	Bowral	2-6 Myosotis Street	'Toorale'—Interwar house and outbuildings, including garden	Lot 1 DP 634108	Yes	Yes
192	Bowral	16 Myosotis Street	'Carisbrooke'—house and garden	Lot 1 DP 834739	Yes	Yes
193	Bowral	133 Old Bowral Road	'Gibraltar Park'—former children's home	Lot 2345 DP 1110446	Yes	Yes
194	Bowral	33 Oxley Drive	'Norwood'—late Victorian weatherboard house	Lot 21 DP 861779	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
195	Bowral	7 Oxleys Hill Road	Two storey weatherboard house	Lot 1 DP 878094	Yes	Yes
196	Bowral	Oxleys Hill Road	Bowral Brickworks	LOT 1 DP 1053064 & LOT 11 DP 1022146	Yes	Yes
197	Bowral	12 Rose Street	Federation era house	Lot 1 DP 1073148	Yes	Yes
198	Bowral	17 Rose Street	Federation cottage	Lot 12 DP 1046671	No	No
199	Bowral	19 Rose Street	Semi-detached bungalow	Part Lot 13 DP 1046671	Yes	Yes
200	Bowral	28 Rose Street	Semi-Detached House (one of a pair)	Lot 2 DP 817948	Yes	Yes
201	Bowral	29 Rose Street	Moderne style house	Lot Y DP 365773	No	No
202	Bowral	30 Rose Street	Semi-Detached House (one of a pair)	Lot 1 DP 817948	Yes	Yes
203	Bowral	32-34 Rose Street	Two storey terrace houses	Lot 17 DP 1116340	Yes	Yes
204	Bowral	40 Rose Street	Victorian terrace house	Lot 145 DP 1115768	Yes	Yes
205	Bowral	42 Rose Street	Victorian brick cottage	Lot 13 DP 742073	No	Yes
206	Bowral	44 Rose Street	Rendered cottage	Lot 1 DP 600009	No	No
207	Bowral	46 Rose Street	Weatherboard house with Art Deco detailing	Lot B DP 156276	No	No
208	Bowral	Sheffield Road	Old Bowral Cottage Hospital	Lot 4 DP 858938	Yes	Yes
209	Bowral	1 Shepherd Street	Late Victorian weatherboard house	Lot 10 DP 814549	Yes	Yes
210	Bowral	7 Shepherd Street	'Clifton'—Victorian house, including interiors	Lot A DP 157056	Yes	Yes
211	Bowral	8 Shepherd Street	Interwar masonry and tile house	Lot 2 DP 802049	No	No
212	Bowral	11 Shepherd Street	20th Century cottage	Lot 4 DP 550528	No	No
213	Bowral	12 Shepherd Street	Interwar house	Lot 2 DP 855557	No	No
214	Bowral	38 Shepherd Street	Federation cottage	Lot 1 DP 194749	No	No
215	Bowral	60 Shepherd Street	Weatherboard house	Lot 1 DP 732770	Yes	Yes
216	Bowral	67 Shepherd Street	Late Victorian homestead including bunya pines at driveway entry	Lot 1 DP 1293313	Yes	Yes
217	Bowral	71 Shepherd Street	'Cavan'—Federation house, including interiors	Lot 1 DP 1013838	Yes	No
218	Bowral	91 Shepherd Street	House and Keteleeria tree in front garden	Lot 4 DP 826510	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
219	Bowral	5 Sherwood Avenue	'Alma Cottage'—weatherboard cottage	Lot 1 DP 252878 & Lot 1 DP 197239	Yes	Yes
220	Bowral	2-8 Sherwood Avenue	Scout Hall	Lot 1 DP 156182	Yes	Yes
221	Bowral	7 St Jude Street	Interwar rendered house	Lot 7 Sec B DP 11838	Yes	No
222	Bowral	9 St Jude Street	New house	Lot 8 Sec B DP 11838	No	No
223	Bowral	11 St Jude Street	Post-war brick and tile house	Lot 9 Sec B DP 11838	Yes	Yes
224	Bowral	15 St Jude Street	Interwar bungalow	Lot 9 Sec C DP 11838	Yes	No
225	Bowral	17 St Jude Street	'Anembo'—Brick bungalow on trachyte foundations	Lot 10 Sec C DP 11838	Yes	Yes
226	Bowral	19 St Jude Street	Californian bungalow	Lot 11 Sec C DP 11838	Yes	Yes
227	Bowral	21 St Jude Street	'Woorang'—Interwar house	Lot 12 Sec C DP 11838	Yes	No
228	Bowral	Station Street	Street tree planting of Camellia japonica	LOT 3 DP 808842 & Station Street road reserve	Yes	No
229	Bowral	Station Street	Avenue of eighteen pin oaks	Station Street road reserve	Yes	No
230	Bowral	34 Station Street	Beavan's funeral parlour and chapel	Lots 1-3 DP 7162	Yes	Yes
231	Bowral	44 Station Street	Weatherboard commercial cottage	Lot 1 DP 779657	Yes	Yes
232	Bowral	46 Station Street	Commercial cottage	Lot 2 DP 779657	No	No
233	Bowral	48-50 Station Street	Victorian terraces	Lot 1 DP 1064286	Yes	Yes
234	Bowral	52 Station Street	Victorian workers' cottage at Le Bistro Gourmand	Lot 61 DP 997514	Yes	Yes
235	Bowral	18 Una Street	Victorian weatherboard cottage	Lot 1 DP 743824	No	No
236	Bowral	5-7 Victoria Street	Victorian gothic semi-detached houses	Part Lot 12 Sec B DP 975353	Yes	Yes
237	Bowral	38 Victoria Street	'Lanarck'—Victorian trachyte and brick house	Lot 10 DP 976522	Yes	Yes
238	Bowral	49 Victoria Street	Relocated cottage	Lot 4 DP 604285	No	No
239	Bowral	10 Westwood Drive	'Westwood' and 'Annesley'—buildings and gardens at Annesley Retirement Village	Lot 1 DP 1097251	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
240	Bowral	5 Wingecarribee Street	Former Coach House and Stables to the Grand Hotel	Lot 1 DP 606498	Yes	Yes
241	Bowral	40 Wingecarribee Street	Interwar Country Women's Association building	Lot 3 DP 150769	Yes	Yes
242	Bowral	53-55 Wingecarribee Street	Police Station and police residences	Lot 3 DP1153410 Crown Reserve 1032748	Yes	Yes
243	Bowral	57 Wingecarribee Street	Police Station and police residences	Lot B DP 332941	Yes	Yes
244	Bowral	59 Wingecarribee Street	Former Strathmore Private Hospital	Lot A DP 332941	Yes	Yes
245	Bowral	37 Woodbine Street	'Mouquet'—1920 war widow house	Lot 15 DP 9661	Yes	Yes
246	Bowral	50 Woodbine Street	Weatherboard cottage	Lot 1 DP 986183	Yes	Yes
247	Bowral	52 Woodbine Street	Weatherboard cottage	Lot 3 DP 1106293	Yes	Yes
248	Bowral	58 & 60 Woodbine Street	Pair of semi-detached cottages	Lot 61 & 62 DP 1142632	Yes	Yes
249	Bowral	62 & 64 Woodbine Street	Pair of semi-detached cottages	Lot 1 DP 797496 & Lot 1 DP 735287	Yes	Yes
250	Bowral	66 Woodbine Street	Weatherboard cottage	Lot 8 DP 135321	Yes	Yes
251	Braemar	30 Old Hume Highway	'Gascoigne House'—1880s weatherboard cottage	Part Lot 12 DP 615299	Yes	Yes
252	Braemar	14-16 Railway Parade	'Braemar Cottage'—Victorian masonry building	Lots 24-25 Sec 2 DP 792	Yes	Yes
253	Braemar	18 Tyree Place	Grave of Sir Alfred William Tyree OBE 1921–2013	Lot 86 DP 1272234	Yes	Yes
254	Bundanoon	5 Amos Lane	'Arden'—brick cottage and garden	Lot 23 DP 869193	Yes	Yes
255	Bundanoon	6 & 8 Amos Lane	Amos Hill Private Cemetery	Lot 1 DP 1274640 & Lot 1 DP 201644	No	Yes
256	Bundanoon	10 Anzac Parade	'Mildenhall'—weatherboard cottage including interiors 10 Anzac Parade, Bundanoon	Lot 11 DP 129077	Yes	Yes
257	Bundanoon	Church Street	Constitution Hill—early road	Church Street road reserve	Yes	Yes



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258	Bundanoon	2-4 Church Street	Uniting Church and Memorial Garden	Lot C DP 326656	Yes	Yes
259	Bundanoon	13 Church Street	Former police station, Jane Brown Inn and Anglican Rectory	Lot 1 DP 169976	Yes	Yes
260	Bundanoon	38-40 Church Street	'Eastdene'—late Victorian house including garden	Lot 1 DP 838630	Yes	Yes
261	Bundanoon	7 Ebury Street	Former butcher shop	Lot 4 Sec 3 DP 1510	Yes	Yes
262	Bundanoon	10-12 Ebury Street	House (former butcher shop)	Lots 5 & 6 Sec 1 DP 1510	No	No
263	Bundanoon	14 Ebury Street	Stone cottage	Lots 7-8 & 23 Sec 1 DP 1510	Yes	Yes
264	Bundanoon	13-33 Ellsmore Road	Quest for Life Centre including garden and 'Killarney House'	Lot 8 DP 833392	Yes	Yes
265	Bundanoon	4 Erith Street	Small sandstone cottage	Lot 1 DP 1105230	Yes	No
266	Bundanoon	6-18 Erith Street	Bundanoon Hotel, including interiors and garden	Lots 1-2 DP 1022374	Yes	Yes
267	Bundanoon	26 Erith Street	Former butcher shop and iceworks	Lot 3 Sec 1 DP 1307	Yes	Yes
268	Bundanoon	48 Erith Street	'Fox Hollow'—weatherboard cottage	Lot D DP 360526	Yes	Yes
269	Bundanoon	1-3 Fidelis Street	'Hamilton'—former Guest House	Lots 19 & 20 DP 8906	No	No
270	Bundanoon	7 Garland Road	Former Greenway Guest House	Lot 1 DP 1056290	Yes	Yes
271	Bundanoon	Gullies Road	Gullies Road—early road alignment including Guy Gurney Memorial Gates at entrance to Morton National Park	Gullies Road road reserve	Yes	Yes
272	Bundanoon	52 Gullies Road	'Spring Vale'—former guest house	Lot 1 DP 814681	Yes	Yes
273	Bundanoon	30 Heritage Drive	Former Greason's Abattoir—slaughterhouse remains	Lot 217 DP 1262120	Yes	No
274	Bundanoon	12-16 Hill Street	St Brigid's Catholic Church	Lots 13-15 Sec 4 DP 1510	Yes	Yes
275	Bundanoon	9 Panorama Avenue	'Emerson Grove'—house, barn and garden	Lot 38 DP 1097706	Yes	Yes

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276	Bundanoon	17-19 Panorama Avenue	'Estoril' (formerly 'Marlow')—stone cottage and garden	Lot 21 DP 234727	Yes	No
277	Bundanoon	71 Penrose Road	Former Bundanoon Village Nursery	Lot 10 DP 8906	Yes	Yes
278	Bundanoon	74-78 Penrose Road	Former 'Bellevue Park' Guest House	Lots 1-2 DP 130118	Yes	No
279	Bundanoon	1-3 Railway Avenue	Bundanoon Soldiers' Memorial Hall and Good Yarn charity shop	Lot A DP 330415	Yes	Yes
280	Bundanoon	27 Railway Avenue	Former Post Office and residence (now café & nursery)	Lot 1 DP 564618	Yes	Yes
281	Bundanoon	31 Railway Avenue	'Altona'—Federation bungalow including interiors (first police station)	Lot 2 DP 564618	Yes	Yes
282	Bundanoon	41-43 Railway Avenue	'Lynwood'—1950s house	Lots 1-2 DP 11791	No	No
283	Bundanoon	115-129 Railway Avenue	'Highball House' and two large eucalypt trees ( <i>Eucalyptus cypellocarpa</i> )	Lot 28 DP 1065076	Yes	Yes
284	Bundanoon	159 Railway Avenue	'Spring Hill' (formerly 'Lydholme Farm')—house and garden	Lot 2 DP 304969	Yes	Yes
285	Burradoo	55-57 Burradoo Road	'Mimosa'—Interwar Georgian Revival style house	Lots 2-3 DP 1153343	Yes	Yes
286	Burradoo	91-95 Burradoo Road	'Lowanbrae'—1925 Peddle Thorp and Walker designed house and garden	Lot 4 DP 566067	Yes	Yes
287	Burradoo	1-3 Eridge Park Road	'Harby Park'—house and garden	Lots 1-2 DP 79951 & Lot 1 DP 119043	Yes	Yes
288	Burradoo	3 Holly Road	'Talgai'—Interwar house	Lot 1 DP 1266895	Yes	No
289	Burradoo	7 Links Road	'Yeulba'—Interwar house	Lots 3-6 DP 12141 & Lot 1 DP 329111	Yes	Yes
290	Burradoo	11 Links Road	Interwar gabled roof brick house and garden	Lot 104 DP 1049376	Yes	Yes
291	Burradoo	13 Links Road	Modest Interwar house	Lot 4 DP 1277456	Yes	Yes
292	Burradoo	15 Links Road	'Renaire'—Interwar house	Lot 310 DP 1163823	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
293	Burradoo	19 Links Road	Interwar house	Lot 11 DP 570902	Yes	Yes
294	Burradoo	21 Links Road	House	Lot 12 DP 570902	No	No
295	Burradoo	23 Links Road	'Shadowood'—Leslie Wilkinson house	Lot 1 DP 791768	Yes	Yes
296	Burradoo	25 Links Road	'Airlie'	Lot 261 DP 1004482	No	No
297	Burradoo	27 Links Road	'Chamae'—Interwar house	Lot 1 DP 1249328	Yes	Yes
298	Burradoo	29 Links Road	Interwar house	Lot 241 DP 1235909	Yes	No
299	Burradoo	31 Links Road	2-storey brick veneer house	Lot 30 DP 1061441	No	No
300	Burradoo	33 Links Road	'Greenloaning'—Interwar Old English style Peddle Thorpe and Walker designed house	Lot 1 DP 1108071	Yes	Yes
301	Burradoo	35 Links Road	New house	Lot 2 DP 1108071	No	No
302	Burradoo	37 Links Road	House	Lot 1 DP 526203	No	No
303	Burradoo	37A Links Road	House	Lot 2 DP 526203	No	No
304	Burradoo	39 Links Road	'Ambleside'—Interwar Old English style house	Lot E DP 341429	Yes	Yes
305	Burradoo	41 Links Road	Split-level house	Lot D DP 341429	No	No
306	Burradoo	43 Links Road	House	Lot C DP 341429	No	No
307	Burradoo	502-508 Moss Vale Road	'Mt Eymard'—house including interiors, water tower and garden	SPs 31130, 32697, 33566, 34324, 34415, 34416, 34417, 35033, 35744, 35928, 40878, 41974, 43317, 4629	Yes	Yes
308	Burradoo	539 Moss Vale Road	Small cottage	Lot 1 DP 912667	No	Yes
309	Burradoo	540 Moss Vale Road	'Blairgowrie'—garden	Lot 20 DP 1011645	Yes	No
310	Burradoo	543 Moss Vale Road	'Greenlaw'—early cottage, including interiors	Lot 1 DP 707907	Yes	Yes
311	Burradoo	546 Moss Vale Road	'Kiamala'—Interwar home	Lot 61 DP 843205	No	No
312	Burradoo	87 Osborne Road	Yokefleet (Originally stables for Laurel Park.)	Lot 2 DP 1272821	No	No
313	Burradoo	96-98 Osborne Road	'Tregarthen' (formerly 'Thule')—house including interiors and garden	Lots 1-2 DP 785250	Yes	Yes

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314	Burradoo	8 Railway Road	'Burradoo Park'—Victorian Georgian sandstone homestead	Lot 3 DP 1012113	Yes	Yes
315	Burradoo	11-29 Railway Parade	'Elvo' (within Oxley College) including interiors, immediate garden and oak tree	Lot 14 DP 858747	Yes	Yes
316	Burradoo	1 Riversdale Avenue	'Polo Cottage'—Prefabricated timber shingle house (one of four Polo Club cottages) and garden	Lot 45 DP 976910	Yes	Yes
317	Burradoo	15 Sunninghill Avenue	'Kyeema'/'The Foldgarth'	Lot 16 DP 1102306	Yes	Yes
318	Burradoo	6 The Avenue	'Landers'—house and garden	Lot 11 DP 1157405	Yes	Yes
319	Burradoo	1-5 Yean Street	'Rathane' including interiors, outbuildings and garden	Lot 1 DP 527527	Yes	Yes
320	Burrawang	10 Church Street	'The Keep' and garden	Lot 1 DP 387359	Yes	Yes
321	Burrawang	44 Church Street	St David's Anglican Church	Lot 1 DP 1033348	Yes	Yes
322	Burrawang	45 Church Street	St Peter's Catholic Church and Cemetery	Lot 1 DP 903389	Yes	Yes
323	Burrawang	6-8 Crown Street	'Hawthorne Cottage'—Victorian weatherboard cottage	Lot 12 DP 1177257	Yes	Yes
324	Burrawang	4-6 Dale Street	'Vance Hall'—weatherboard cottage	Lot 1 DP 1138278	No	No
325	Burrawang	12-14 Dale Street	'Carrington'—weatherboard cottage	Lots 23-24 Sec 1 DP 1992	Yes	Yes
326	Burrawang	4-6 Hoddle Street	Former Post Office and residence	Lot 1 DP 986016	Yes	Yes
327	Burrawang	8-10 Hoddle Street	'Hambledon'—Victorian cottage with bullnosed verandah	Lot A DP 157028	Yes	Yes
328	Burrawang	9 Hoddle Street	'Anjele'—Victorian weatherboard cottage	Lots D-E DP 391886	Yes	Yes
329	Burrawang	23 Hoddle Street	Victorian cottage	Lot 2 DP 590264	Yes	Yes
330	Burrawang	25-27 Hoddle Street	Former Scarlett's General Store	Lot 10 Sec 1 DP 1992 & Lot A DP 388182	Yes	Yes
331	Colo Vale	50 Railway Avenue	Victorian cottage	Lot 8910 DP 1283340	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
332	Colo Vale	70 Railway Avenue	Victorian double fronted house	Lots 10-11 Sec 1 DP 2389	Yes	Yes
333	Colo Vale	105 Wattle Street	Mud brick buildings from the 1970s and 1980s	Lot 82 DP 813934	Yes	No
334	East Kangaloon	1970 Kangaloon Road	'Pheasant Hill' and outbuildings (one in a group of nine early dairy farm related properties in Kangaloon)	Lot 12 DP 1002097	Yes	Defer
335	East Kangaloon	1971 Kangaloon Road	Former 1902 St Matthew's Anglican Church	Lot 3 DP 773276	Yes	No
336	East Kangaloon	1973 Kangaloon Road	East Kangaloon Cemetery	Lot 4 DP 773276	Yes	Yes
337	East Kangaloon	1974 Kangaloon Road	Former East Kangaloon Post Office, store and residence	Lot 1 DP 348438	Yes	Yes
338	East Kangaloon	2044 Kangaloon Road	'Clover Hill' (one in a group of nine early dairy farm related properties in Kangaloon)	Lot 2 DP 1009715	Yes	Yes
339	East Kangaloon	2128 Kangaloon Road	'Pepper Tree Creek Estate'—early stone cottage	Lot 1 DP 957959	No	Defer
340	East Kangaloon	Moresby Hill Road	Moresby Hill Road—early road	Moreseby Hill Road road reserve	Yes	Yes
341	Exeter	2 Bundanoon Road	Village Pump Antiques	Lot 100 DP 549240	Yes	Yes
342	Exeter	6 Bundanoon Road	'Adorna' (aka 'Akrigg Cottage')—1920s Californian bungalow	Lot 2 DP 629142	Yes	Yes
343	Exeter	34 & 42 Bundanoon Road & 47 Jensens Lane	Garden, trees and outbuildings of former Searl's Nursery (formerly 'Walhallow')	Lots 5 & 28 Sec 10 DP 3373 & Lot 6 DP 1017039, Lot 9 DP 1017039 & Lot 2 DP 573422	Yes	Defer
344	Exeter	302 Bundanoon Road	Former Ringwood Coal Mine Siding	Lot 12 DP 1001769	No	No
345	Exeter	2-6 Buskers Avenue	Buskers End'—Victorian brick and timber house and garden	Lots 38-39 DP 590635 & Lot 21 DP 255091	Yes	Yes
346	Exeter	549 Ellsmore Road	Ivy Hall	Lot 680 DP 1015716 Lot 681 DP 1015716	No	No

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
347	Exeter	1 Exeter Road	General Store & Post Office	Lot 22 DP 1042572	Yes	Yes
348	Exeter	2 Exeter Road	'Halcyon'—small weatherboard cottage	Lot 1 DP 658890 & Lot 1 DP 129189	Yes	Yes
349	Exeter	10 Exeter Road	Former CWA Building	Part Lot 2 DP 1221039	No	No
350	Exeter	23 Exeter Road	'Whare Tau'—Federation house including interiors, outbuildings and garden	Lot 1 DP 858547	Yes	Yes
351	Exeter	Jensens Lane	Former Jensen's Nursery cottage and garden	Lot 2 DP 1139319	Yes	No
352	Exeter	5-7 Middle Road	Former Post Office	Lot 1 DP 629142	Yes	Yes
353	Exeter	30-44 Middle Road	'Apolima' and garden	Lot 1 DP 1258418	Yes	Yes
354	Exeter	72 Middle Road	'The Hill'—Federation Queen Anne style house	Lot 7 DP 1281353	Yes	Yes
355	Exeter	28 Ringwood Road	'Elouera'—late Victorian house	Lot 1 DP 1270068	Yes	Yes
356	Exeter	15 Rockleigh Road (adjacent)	Two <i>Maclura pomifera</i> (Osage Orange) trees in the road reserve	Lot 4 DP 1180426	Yes	No
357	Exeter	1 School Lane	'Blue House'—Victorian weatherboard cottage	Lot 1 DP 1161107	Yes	Yes
358	Exeter	12-14 School Lane	'Hillview'—garden	Lot 54 DP 14140	Yes	Yes
359	Exeter	235 Werai Road	'Lantern Hill'—Claude Crowe garden	Lot 1 DP 828401	Yes	Yes
360	Exeter	16-18 Wilsons Lane	'Summerfield'—Federation period house	Lot 1 DP 719639	Yes	Yes
361	Fitzroy Falls	1059 Nowra Road	'Ulster Park'—two storey Victorian house built 1881	Lot 62 DP 733981	Yes	Yes
362	Fitzroy Falls	1131 Nowra Road	Former Emmanuel Church, now a residence	Lot 1 DP 934264	Yes	Yes
363	High Range	1321 Wombeyan Caves Road	St Thomas Anglican Church and Cemetery	Lot 27 DP 751276	Yes	Yes
364	Joadja	299 Richards Lane	'Mandemar'—sandstone and timber slab house	Lot 24 DP 751276	Yes	Yes
365	Kangaloon	1291 Kangaloon Road	'Fernleigh' and outbuildings (one in a group of nine early dairy farm related properties in Kangaloon)	Lot 1 DP 155407	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
366	Kangaloon	1320 Kangaloon Road	'Willow Vale'—house and outbuildings (one in a group of nine early dairy farm related properties in Kangaloon)	Lot 11 & Part Lot 10 DP 976803 & Lot 1 DP 1120126 & Lot 9 DP 1122451	Yes	Yes
367	Kangaloon	1461 Kangaloon Road	'Hillview' (one in a group of nine early dairy farm related properties in Kangaloon)	Lot 1 DP 744820	Yes	Yes
368	Kangaloon	1488 Kangaloon Road	Kangaloon Public School and school residence	Lot 1 DP 724863	Yes	Yes
369	Kangaloon	1531 Kangaloon Road	Mahoney residence	Lot 1 DP 396052	Yes	Yes
370	Kangaloon	1536 Kangaloon Road	Kangaloon Community Hall 1913	Lot A DP 326353	Yes	Yes
371	Kangaloon	1515 Kangaloon Road	'Glenburn'—19th century weatherboard cottage	Lot 1 DP 790608	Yes	Yes
372	Kangaloon	1540 Kangaloon Road	Former 1931 St Mark's Anglican Church	Lot B DP 326353	Yes	No
373	Kangaloon	1544 Kangaloon Road	Former Post Office and store	Lot A DP 381965	Yes	Yes
374	Kangaloon	1577 Kangaloon Road	'Sugarloaf Farm' drystone wall	Lot 27 DP 665396	Yes	Yes
375	Kangaloon	1601 Kangaloon Road	'The Cedars'—rubble cottage	Lot 2 DP 1115018	No	Defer
376	Kangaloon	1660 Kangaloon Road	'Springfield'—early stone cottage, later house and outbuildings (one in a group of nine early dairy farm related properties in Kangaloon)	Lot 1 DP 175384	Yes	Yes
377	Kangaloon	1685 Kangaloon Road	Raybright Farm—small weatherboard cottage (one in a group of nine early dairy farm related properties in Kangaloon)	Lot 281 DP 1094896	Yes	Yes
378	Kangaloon	1721 Kangaloon Road	'Forest Lodge'—small stone 1888 building near the current main house & early cottage on the corner of Widgee Waa Lane (one in a group of nine early dairy farm related properties in Kangaloon)	Lot 22 DP 1067852	Yes	Yes



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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
379	Kangaloon	15 Kia-Ora Lane	'Kia-Ora Cottage' and outbuildings (one in a group of nine early dairy farm related properties in Kangaloon)	Lot 1 DP 708854	Yes	Yes
380	Manchester Square	Meryla Road	Remains of convict retaining wall and guttering	Meryla Road road reserve	Yes	Yes
381	Medway	526 Medway Road	Medway Coal Mine and Colliery	Part Lot 1 DP 707350, Part Lot 1 DP 598101 & Part Lot 57 DP 751251	Yes	Yes
382	Mittagong	17 Alfred Street	House	Lot 2 DP 382422	No	No
383	Mittagong	23 Alfred Street	One storey cottage dating from 1889	Lot 32 DP 544312	Yes	No
384	Mittagong	25 Alfred Street	'Kyogle'—1888-89 Victorian house	Lot 41 DP 630841	Yes	Yes
385	Mittagong	29 Alfred Street	House	Lot 119 Sec K DP 1289	Yes	Yes
386	Mittagong	36 Alfred Street	Linwood	Lot 10 DP 621435	Yes	Yes
387	Mittagong	39 Alfred Street	Arcadia (Freestanding cottage that dates from the Victorian period.)	Lot 108 Sec J DP 1289	Yes	Yes
388	Mittagong	41 Alfred Street	Sunnybrae (formerly Knockdolian)-late Victorian cottage	Lot 107 Sec J DP 1289	Yes	Yes
389	Mittagong	47 Alfred Street	Carinya-late Victorian cottage	Lot 4 DP 734911	Yes	Yes
390	Mittagong	49 Alfred Street	Intewar bungalow	Lot 3 DP 734911	Yes	Yes
391	Mittagong	52 Alfred Street	House	Lot 149 Sec O DP 1289	Yes	Yes
392	Mittagong	2 Alice Street	Connell House	Lot 4 DP 526771	Yes	Yes
393	Mittagong	3 Alice Street	Former Presbyterian Manse	Lot 151 DP 931665 & Lot 152 DP 931664	Yes	Yes
394	Mittagong	4 Alice Street	Talgarno (former private hospital)	Lot 3 DP 526771	Yes	Yes
395	Mittagong	12 Apple Gate Close	'Applegate Farm'	Lot 100 DP 846195	Yes	Yes
396	Mittagong	7 Arthur Street	'Maple Lea'—weatherboard cottage	Lot 48 Sec D DP 1289	No	No
397	Mittagong	23 Arthur Street	Weatherboard cottage	Lot 34 Sec C DP 20	Yes	Yes
398	Mittagong	25 Arthur Street	St Jose including interiors	Lot 33 Sec C DP 20	Yes	Yes
399	Mittagong	171 Aylmerton Road	'Aylmerton'—stone house	Lot 11 DP 604587	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
400	Mittagong	25 Brewster Street	Stone cottage	Lot 11 DP 9299	Yes	Yes
401	Mittagong	8 Camellia Place	Nattai Lodge	Lot 1 DP 1190475	Yes	No
402	Mittagong	565 Diamond Fields Road	'Greenville'	Lot 1 DP 801901	No	Defer
403	Mittagong	1 Edward Lane	Cottage (one in a group of 4)	Lot D DP 377284	Yes	Yes
404	Mittagong	2 Edward Lane	Cottage (one in a group of 4)	Lot 3 DP 405669	Yes	Yes
405	Mittagong	4 Edward Lane	Cottage (one in a group of 4)	Lot 2 DP 405669	Yes	Yes
406	Mittagong	1 Edward Street	Honiton	Lot 101 DP 1163283	Yes	Yes
407	Mittagong	6 Edward Street	House	Lot 207 Sec T DP 1289	Yes	Yes
408	Mittagong	8 Edward Street	House including interiors	Lot 206 Sec T DP 1289	Yes	Yes
409	Mittagong	13 Edward Street	Lakelands	Lot 129 Sec L DP 20	Yes	Yes
410	Mittagong	24 Edward Street	House	Lot 171 DP 650812	Yes	Yes
411	Mittagong	6 Helena Street	House	Lot 100 DP 1163283	Yes	Yes
412	Mittagong	8 Helena Street	Sunnyside	Lot 2 DP 501211	Yes	Yes
413	Mittagong	18-20 Hillside Close	Hillside Park	Lot 12 DP 861292	Yes	Yes
414	Mittagong	7 Louisa Street	Mittagong Scout Hall	Lot 1 DP 323351	Yes	Yes
415	Mittagong	15 Old Hume Highway	Pilgrim Cottage	Lot 2 DP 558567	Yes	Yes
416	Mittagong	19 Old Hume Highway	Shangri-La and some interiors	Lot 1 DP 1089177 & Lot 2 DP 1089177	Yes	Yes
417	Mittagong	42 Old Hume Highway	Yarrowonga Guest House (pre 1884)	Lot 1 Sec 3 DP 33 & Lot 2 DP 668073	Yes	Yes
418	Mittagong	48-50 Old Hume Highway	Murrabrine - Post war house including interiors and garden	Lot 4 DP 876468	Yes	Demolished
419	Mittagong	123 Old Hume Highway	WWI War Widow's House from 1917	Lot 4 Sec 8 DP 1289	Yes	Yes
420	Mittagong	236 Old Hume Highway	Minnikin Lodge (former Prince of Wales Hotel)	Lot 11 DP 1210667	Yes	Yes
421	Mittagong	245 Old Hume Highway	Stone cottage on Kennards Storage site	Lot 1 DP 1197761	Yes	Yes
422	Mittagong	290 Old Hume Highway	Sandstone cottage	Lot 100 DP 829534	No	No
423	Mittagong	630 Old South Road	'Tarlington'—homestead and outbuildings	Lot 13 Sec 18 DP 841 & Lot 230 DP 1148543	Yes	Yes
424	Mittagong	750 Old South Road	Coobija	Lot 11 DP 860856	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
425	Mittagong	869 Old South Road	Rowe's Hill Cemetery	Lot 2 DP 925829	Yes	Yes
426	Mittagong	1220 Old South Road	Darjeeling	Lot 1 DP 1006329	Yes	Yes
427	Mittagong	31 Oxley Drive	House	Lot 1 DP 955254	Yes	Yes
428	Mittagong	33 Oxley Drive	Windsor (Formerly Ottary.)	Lot 501 DP 1049267	Yes	Yes
429	Mittagong	35 Oxley Drive	'Clifton House' (formerly)—Victorian Arts and Crafts style house	Lot 2 DP 619081	Yes	Yes
430	Mittagong	39 Oxley Drive	'Argyle' (formerly)	Lot 10 DP 1214567	Yes	Yes
431	Mittagong	155 Oxley Drive	'Yammatree'—P&O style house	Lot 1 DP 1151426	Yes	Yes
432	Mittagong	174-178 Oxley Drive	Redlands including Interiors and Garden	Lot 703 DP 875691	Yes	Yes
433	Mittagong	194 Oxley Drive	'Whinstone Park'	Lot 2 DP 712177	No	No
434	Mittagong	2 Pioneer Street	Weatherboard cottage - childhood home of Lorrae Desmond	Part Lot 222 Sec U DP 20	Yes	Yes
435	Mittagong	4 Pioneer Street	Apple Tree Cottage (Victorian period semi. 4 & 6 Pioneer Street.)	Lot A DP 441657	Yes	Yes
436	Mittagong	5 Pioneer Street	May Cottage	Lot 14 DP 597853	Yes	Yes
437	Mittagong	6 Pioneer Street	Victorian period semi. (4 & 6 Pioneer St.)	Lot B DP 441657	Yes	Yes
438	Mittagong	7 Pioneer Street	Stone cottage	Lot 4 DP 658573	Yes	Yes
439	Mittagong	9 Pioneer Street	Carnarvon	Lot 3 Sec 6 DP 1289	Yes	Yes
440	Mittagong	10 Pioneer Street	Stone Cottage	Lot 2 DP 501309	Yes	Yes
441	Mittagong	1-3 Prince Street	Greenhayes and garden	Lots 25-27 DP 15496	Yes	Yes
442	Mittagong	1 Queen Street	Hamilton	Lot B DP 979880	Yes	Yes
443	Mittagong	7 Queen Street	Former Anglican Rectory including some interiors	Lot B DP 962285 & Lot B DP 962286	Yes	Yes
444	Mittagong	11 Queen Street	Cherrybrook Cottage (One storey cottage dating from 1918/20.)	Lot B DP 353085	Yes	Yes
445	Mittagong	24 & 26 Railway Parade	Pair of semi-detached late Victorian brick cottages	Lots A & B DP 379939	Yes	Yes
446	Mittagong	86 Railway Parade	Interwar weatherboard house	Lot 82 DP 787000	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
447	Mittagong	90 Railway Parade	Interwar house on sandstone foundations	Lot 12 DP 1134780	Yes	Yes
448	Mittagong	Range Road	Clubbe Hall at Frensham School	Lot 6 Sec 19 DP 1289	Yes	Yes
449	Mittagong	71 Southey Street	House	Lot 1 DP 1192204 & Lot 2 DP 1192204	Yes	Yes
450	Mittagong	50-52 Spring Street	Norbry	Lots 5-6 Sec 17 DP 111201	Yes	Yes
451	Mittagong	2 Waverley Parade	Sturt Workshops, garden and Sturt Collection	Lots 1-3 DP 813792	Yes	Yes
452	Mittagong	38 Waverley Parade	'Wychwood'—house (including some interiors) and garden	Lot 1 DP 507745	Yes	Yes
453	Mittagong	5-7 Webb Street	'Woodbridge' and garden	Lot 6 DP 600529	Yes	No
454	Moss Vale	31 Abattoir Road	Abattoir (former)	Lot 1 DP 215782	No	No
455	Moss Vale	Argyle Street	Cottage distribution electrical substation (Henry Sheaffe, architect)	Lot 1 DP 1070183 & Lot 2 DP 1070183	Yes	Yes
456	Moss Vale	Argyle Street	Queen Victoria Diamond Jubilee Fountain	Argyle Street road reservation	Yes	Yes
457	Moss Vale	125-127 Argyle Street	Trelm (including interiors) and garden	Lot 2 DP 620618 & Lot 1 DP 1186415	Yes	Yes
458	Moss Vale	165 Argyle Street	Heronswood	Lot L DP 163437	Yes	Yes
459	Moss Vale	181 Argyle Street	Interwar house and garden	Lot 1 DP 509727 & Lots 28-30 DP 1134240	Yes	Yes
460	Moss Vale	182 Argyle Street	Federation weatherboard cottage	Lot B DP 162073	No	No
461	Moss Vale	239A Argyle Street	Former Station Master's House and outhouse	Lot 5 DP 832397	Yes	Yes
462	Moss Vale	332 Argyle Street	Southern Rise Bakery commercial building	Lot 2 DP 156737	Yes	Yes
463	Moss Vale	340-346 Argyle Street	Moss Vale Hotel	Lot 3 DP 601901	Yes	Yes
464	Moss Vale	348-354 Argyle Street	Former Mack's Theatre Royal cinema	Lot 1 DP 742038	Yes	Yes
465	Moss Vale	396 Argyle Street	Suzie Anderson Interiors (former Commonwealth Bank)	Lot 1 DP 999467	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
466	Moss Vale	405 Argyle Street	Edwardian shops	Lot 1 DP 1102437	No	No
467	Moss Vale	406 Argyle Street	Maine House	Lot 1 DP 111616	Yes	Yes
468	Moss Vale	480-486 Argyle Street	Two storey Victorian terraced shops	Lot 2 DP 712927	Yes	No
469	Moss Vale	490-494 Argyle Street	Former Tooses Store including painted sign	Lot 6 DP 773704	Yes	Yes
470	Moss Vale	538 Argyle Street	Single storey commercial building	Lot 1 DP 1234038	Yes	Yes
471	Moss Vale	542 Argyle Street	Two storey commercial building	Lot 2 DP 1234038	Yes	Yes
472	Moss Vale	567 Argyle Street	Formerly Myee and some interiors	Lot 4 Sec 1 DP 38	Yes	Yes
473	Moss Vale	568 Argyle Street	Uniting Church and Hall	Lot 4 DP 880538	Yes	Yes
474	Moss Vale	574-576 Argyle Street	The Federal Butchery (original)—shop and residence	Lot 1 DP 780630	Yes	Defer
475	Moss Vale	17 Arthur Street	'The Nook'—Federation house	Lot 2 DP 596061	Yes	Yes
476	Moss Vale	5 Berrima Road	Formerly Allambie	Lot 1 DP 1172834	Yes	Yes
477	Moss Vale	8 Berrima Road	Weatherboard cottage	Lot 1 DP 561469	No	No
478	Moss Vale	9 Berrima Road	'Ponderosa'—Victorian weatherboard cottage	Lot 2 DP 1223349	No	No
479	Moss Vale	10 Berrima Road	Asymmetrical Californian bungalow	Lot 11 DP 1178993	Yes	Yes
480	Moss Vale	79 Broughton Street	'Trentwood'—house and garden	Lot 22 DP 625790	Yes	Yes
481	Moss Vale	30 Browley Street	Weatherboard house	Lot 2 DP 14457	No	No
482	Moss Vale	1/41 Browley Street	Single storey co-joined residence (part of a pair comprising 41 Browley Street)	Lot 1 SP 83909	Yes	Yes
483	Moss Vale	2/41 Browley Street	Single storey co-joined residence (part of a pair comprising 41 Browley Street)	Lot 2 SP 83909	Yes	Yes
484	Moss Vale	9-13 Burcham Road	'Warrawong'—house, stable building and garden	Lot 5 DP 1250217	Yes	Yes
485	Moss Vale	21 Burcham Road	'Warrawong Cottage' and garden	Lot 1 DP 616479	Yes	Yes
486	Moss Vale	38 Chapman Street	Federation cottage	Lot 4 DP 8915	Yes	No

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
487	Moss Vale	8 Elizabeth Street	Single storey brick house	Part Lot 1 DP 198828	No	No
488	Moss Vale	3 Fitzroy Road	The Gunyah	Lot 1 DP 162132	Yes	Yes
489	Moss Vale	20-24 Hill Road	'Cheplakwet'—house (including interiors) and garden	Lot 2 DP 877242	Yes	Yes
490	Moss Vale	6220 Illawarra Highway	Southdowns	Lot 310 DP 828722 & Lots 315-316 DP 1102958	Yes	Yes
491	Moss Vale	6530 Illawarra Highway	Farnborough including interiors	Lot 50 DP 1219573	Yes	Yes
492	Moss Vale	6607 Illawarra Highway	Misty Hill	Lot 2 DP 513113	Yes	Yes
493	Moss Vale	7009 Illawarra Highway	Bulls Hill/Hazleton	Lot 5 DP 61903	Yes	Yes
494	Moss Vale	9 Lovelle Street	Californian bungalow from 1920s	Lot 13 DP 8915	No	Yes
495	Moss Vale	21 Lovelle Street	Rose Cottage	Lot 3 DP 523765	Yes	Yes
496	Moss Vale	85 Mt Ashby Road	'Mt. Ashby'—house and garden (historic Throsby property)	Lot 1 DP 150007	Yes	Yes
497	Moss Vale	2 Narellan Road	'Emira'—house and garden	Lot 1 DP 1083876	Yes	No
498	Moss Vale	35 Parkes Road	Azalea Cottage (freestanding house dating from Victorian period.)	Lot 30 Sec 5 DP 975386	Yes	Yes
499	Moss Vale	6/37 Railway Street	Alloway - Interwar Californian bungalow	Lot 6 SP 63170	Yes	Yes
500	Moss Vale	39 Railway Street	Timber Californian bungalow (formerly 'Welwyn') including <i>Arucaria bidwillii</i> in rear yard	Lot 1 DP 199857	Yes	Yes
501	Moss Vale	31-33 Robertson Road	'Ellerslie'—Interwar architect designed house, including interiors and garden	Lot 13 Sec 3 DP 977031	Yes	Yes
502	Moss Vale	47 Robertson Road	'Yomerry' (formerly 'Gleneric')—Federation house	Lot 1 DP 506387 & Lot 5 DP 240389	Yes	Yes
503	Moss Vale	6-8 Spring Street	Pair of semi-attached houses from late Victorian period.	Lot 5 DP 880538	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
504	Moss Vale	15 Spring Street	Ashdene (formerly Harwood)	Lot 1 DP 199568	Yes	Yes
505	Moss Vale	21 Spring Street	Formerly Glenroy	Lot 1 DP 735873	Yes	Yes
506	Moss Vale	15 Suttor Road	Kooyong - formerly Norman Villa - two storey Victorian villa	Lot 1 DP 1258604	Yes	Yes
507	Moss Vale	103 Suttor Road	Wetherall and some interiors	Lot 1 DP 1239557	Yes	Yes
508	Moss Vale	10 Throsby Street	Wroxton - Federation house	Lot 41 DP 1098839	Yes	Yes
509	Moss Vale	46 Throsby Street	'Westella'—timber cottage	Lot 21 DP 554639	No	No
510	Moss Vale	7 Valetta Street	'Tarrangower'—house (including interiors) and trachyte retaining wall, fence and steps	Lot 1 DP 798790	Yes	Yes
511	Moss Vale	18 Valetta Street	Interwar house	Lot 1 DP 798183	Yes	Yes
512	Moss Vale	28 Valetta Street	St Oswalds and Garden	Lot 1 DP 193874 & Lot 1 DP 157205	Yes	Yes
513	Moss Vale	32-34 Valetta Street	Legacy House – two storey Arts & Crafts style house and grounds	Lot 90 DP 1070750	Yes	Yes
514	Moss Vale	51 Valetta Street	'Bibury' and garden	Lot 1 DP 862563	Yes	Yes
515	Moss Vale	Waite Street	St Joseph's School Room (add to listing for existing St Paul's International College heritage item)	Lot 1 DP 775152	Yes	Yes
516	Moss Vale	5 Woodville Road	The Dell	Lot C DP 157882 & Lot 14 DP 1060470	Yes	Yes
517	Moss Vale	26 Wyatt Street	Former St John's Anglican Rectory garden	Lot 72 DP 628810, Lot 26 Sec 2 DP 940 & Lot 1 DP 825847	No	No
518	Moss Vale	23 Yarrowa Street	Bramble Cottage	Lot 1 DP 813055	Yes	Yes
519	Moss Vale	43 Yarrowa Street	Victorian weatherboard house	Lot 43 DP 1058530	No	No
520	Moss Vale	51 Yarrowa Street	Victorian period house. (Formerly Heather Brae)	Lot 12 DP 813345	Yes	Yes
521	New Berrima	Taylor Avenue	Boral Cement Works, including Crowe and Sorensen tree planting	Numerous lots	Yes	Yes



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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
522	Paddys River	Hume Highway	Paddy's River Crossing (near former town of Murrimba)	Hume Highway	No	No
523	Penrose	Penrose State Forest	Paddys River ford site No. 2	Paddys River, Penrose	Yes	No
524	Renwick	86 Bong Bong Road	De Lauret Cottage (part of former Renwick Farm Homes)	Lot 4005 DP 1124863	Yes	Yes
525	Renwick	88-90 Bong Bong Road	Heydon Cottage (part of former Renwick Farm Homes)	Lot 1 DP 1131771	Yes	Yes
526	Renwick	88-90 Bong Bong Road	Scout Hall (part of the former Renwick Farm Homes)	Lot 1 DP 1131771	Yes	Yes
527	Robertson	54-56 Burrawang Street	'Kookaburra Cottage' & 'Potters Cottage'—weatherboard houses	Lot 9 Sec 23 DP 758882	Yes	Yes
528	Robertson	63-65 Burrawang Street	Weatherboard and iron cottage	Lot 2 Sec 20 DP 758882	No	No
529	Robertson	71 Burrawang Street	Californian bungalow (one of a group of three)	Lot 1 DP 508828	Yes	No
530	Robertson	77-79 Burrawang Street	Californian bungalow (one of a group of three)	Lot 1 DP 1126925	Yes	Yes
531	Robertson	10 Caalong Street	'Camellia Cottage'—weatherboard cottage	Lot 2 DP 14974 & Lot 3 DP 14974	No	Yes
532	Robertson	12 Caalong Street	Weatherboard and iron cottage	Lot C DP 332974	No	Yes
533	Robertson	14 Caalong Street	Asymmetrical cottage	Lot B DP 186750	No	Yes
534	Robertson	16 Caalong Street	Interwar cottage	Lot A DP 332974	No	Yes
535	Robertson	188 Fountaindale Road	'The Moorings'—early land holding	Lot 8 DP 701442	No	No
536	Robertson	1 Hoddle Street	Eureka - Victorian weatherboard house including some interiors	Lot 1 DP 828912	Yes	Yes
537	Robertson	2 Hoddle Street	Late Victorian weatherboard cottage	Lot 2 DP 547364	Yes	Yes
538	Robertson	5-7 Hoddle Street	Reconstructed Victorian weatherboard cottage	Lot 1 DP 1094691	No	No
539	Robertson	9-11 Hoddle Street	Double fronted weatherboard cottage	Lot 2 Sec 2 DP 758882	Yes	Yes
540	Robertson	12-14 Hoddle Street	'Woodside'—Victorian gabled weatherboard cottage	Lot 8 Sec 1 DP 758882	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
541	Robertson	19 Hoddle Street	Late Victorian gabled cottage	Lot B DP 360490	Yes	No
542	Robertson	24 Hoddle Street	Double fronted house	Lots 5-6 DP 312123	Yes	Yes
543	Robertson	25 Hoddle Street	Weatherboard cottage	Lot 1 DP 653013	Yes	Yes
544	Robertson	26 Hoddle Street	Shop—formerly Robertson's first garage (one of a group of 7 verandahed shops)	Lots 3-4 DP 312123	Yes	No
545	Robertson	27 Hoddle Street	Tudor style fibro cottage	Lot 11 DP 918489	Yes	No
546	Robertson	28 Hoddle Street	Robertson Doctor (one of a group of 7 verandahed shops)	Lot 12 DP 1220203	Yes	Yes
547	Robertson	30 Hoddle Street	Shop (one of a group of 7 verandahed shops)	Lot 1 DP 355992	Yes	Yes
548	Robertson	31 Hoddle Street	'Café 31'—single storey weatherboard shop	Lot A DP 101421	No	No
549	Robertson	34 Hoddle Street	Southern Rise Bakery (one of a group of 7 verandahed shops)	Lot 7 DP 667930	Yes	Yes
550	Robertson	36 Hoddle Street	Antiques shop (one of a group of 7 verandahed shops)	Lot 1 DP 570549	Yes	Yes
551	Robertson	37 Hoddle Street	Former Uniting Church	Part Lots 1-2 DP 1251978	Yes	No
552	Robertson	40 Hoddle Street	Studio 40 (one of a group of 7 verandahed shops)	Lot 5 DP 14974	Yes	No
553	Robertson	42 Hoddle Street	Pizzas in the Mist (one of a group of 7 verandahed shops)	Lots 1 & 4 DP 14974 & Lot 8 Sec 16 DP 14974	Yes	Yes
554	Robertson	43-45 Hoddle Street	Light Horse Gallery and adjoining house	Lot 1 DP 108172	Yes	Yes
555	Robertson	48 Hoddle Street	Hampden Park	Lots 4-5 DP244671 & Prt Lot 350 DP751302 & Lot 1 Sec17 DP758882 & Lot 15 Sec18 DP758882 & Lots 7014-7015 DP1024706 & Lot 7013 DP1024707 & Lot 701 DP1024708 & Crown Reserves 1002199 1002200 1002201 530065	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
556	Robertson	62-66 Hoddle Street (Illawarra Highway)	St John's Anglican Church and Rectory	Lot 5-7 Sec 18 DP 758882 & Lot 1 DP 1111006	Yes	Yes
557	Robertson	63 Hoddle Street (Illawarra Highway)	Former 1896 Post Office	Lot 52 DP 549290	Yes	Yes
558	Robertson	67-69 Hoddle Street	Former CBC Bank and some interiors	Lot 2 Sec 13 DP 758882	Yes	Yes
559	Robertson	72 Hoddle Street	Urban Food Tribe Café—single storey infill shop	Lot 4 DP 1246135	No	No
560	Robertson	84 Hoddle Street	Californian bungalow (one of a group of three)	Lot 10 DP 862477	Yes	Yes
561	Robertson	87-89 Hoddle Street	The Robertson Inn (formerly Criterion Hotel, The Tourist Hotel and County Inn)	Lot 2 Sec 12 DP 758882	Yes	Yes
562	Robertson	99 Hoddle Street	Shop and residence	Lot C DP 328110	No	Yes
563	Robertson	107 Hoddle Street	Former Cheese Factory	Lot 1 DP91725 & Lot 1 DP432417 & Railway Land Lease 143088	Yes	Yes
564	Robertson	4840 Illawarra Highway	Former Butter Factory and 'Redbank Cottage'	Lot 11 DP 738381	Yes	Yes
565	Robertson	1750 Jamberoo Mountain Road	Missingham's Sawmill (now demolished)	Lot 11 DP 880895	No	No
566	Robertson	3-5 Main Street	'Brae House'—weatherboard cottage	Lot 1 Sec 20 DP 758882	Yes	Yes
567	Robertson	140 Old Kangaloon Road	Twin Creeks and Garden	Lot X DP 388590	Yes	Yes
568	Robertson	Shierlaw Road	Shierlaw Road—early road	Shierlaw Road road reserve	Yes	Yes
569	Robertson	South Street	Laurence Langley Memorial Redwood Grove	Lot 7302 DP 1142999 & Lots 4-10 Sec 7 DP 758882	Yes	Yes
570	Robertson	South Street	1884 Yarrawa Brush Reserve	Lots 149-154 DP 751302	Yes	Yes
571	Sutton Forest	488 Exeter Road	Old Rectory including interiors	Lot 22 DP 574059	Yes	Yes
572	Sutton Forest	Hume Highway	Sandstone quarry	Not located	No	No
573	Sutton Forest	12587 Hume Highway	'Eling Forest' stone cottage—former school room	Lots 100-101 DP 1232078	Yes	Yes
574	Sutton Forest	13230 Hume Highway	'Bridgewater Lodge'—house and garden	Lot 2 DP 253435	Yes	Yes

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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
575	Sutton Forest	7310 Illawarra Highway	'Inverary'	Lots 18-22 DP 32	Yes	Yes
576	Sutton Forest	7360 Illawarra Highway	'Goondi'—former formerly John Hands Federal Stores	Lot 33 DP 1081026	Yes	Yes
577	Sutton Forest	7361 Illawarra Highway	Munro Park Farm	Lot 5 DP 857597	No	No
578	Sutton Forest	7480 Illawarra Highway	'Red Cow Farm'—cottage and garden	Lots 16-17 DP 2715	Yes	Yes
579	Sutton Forest	7733 Illawarra Highway	Wells Creek Bridge	Lot 2 DP 250746 & Lot 2 DP 1127380	No	No
580	Sutton Forest	51 Kater Road	'Cardrona'—homestead	Lots 1-2 DP 1081472	Yes	No
581	Sutton Forest	Old Argyle Road / Illawarra Highway	Wells Creek Ford		No	No
582	Sutton Forest	173 Oldbury Road	'Swanton'—formerly part of 'Oldbury' and Louisa Atkinson's last home	Lot 3 DP 867224 & Lot 1 DP 1255568	Yes	Yes
583	Welby	17 Bendooley Street	Early weatherboard cottage	Lot 1 DP 573396	No	Yes
584	Welby	61-63 Berrima Street	'Columbine'—house and garden (formerly 'Sheldon')	Lot 15 DP 573525	Yes	Yes
585	Welby	71 Berrima Street	Victorian brick cottage	Lot 3 Sec 3 DP 759070	Yes	Yes
586	Welby	97 Berrima Street	'Villa Anna'—Victorian brick cottage	Lot 1 Sec 2 DP 759070	Yes	Yes
587	Welby	9-11 Currockbilly Street	'Homeleigh'—stone cottage and fence	Lot 10 Sec 9 DP 759070	Yes	Yes
588	Welby	30 Currockbilly Street	'Arcadia'—stone cottage	Lot 62 DP 1242389	Yes	Yes
589	Welby	49-51 Mittagong Street	Sandstone cottage	Lot 3 Sec 9 DP 759070	No	No
590	Welby	59 Mittagong Street	Interwar stone house	Lot 11 DP 1083434	Yes	Yes
591	Welby	28 Old Hume Highway	'Welby Park Manor'—house (including some interiors) and garden (including trees) and stone fence and adjacent reserves containing stone fence and trees	Lot 10 DP 1009585	Yes	Defer
592	Wildes Meadow	475 Myra Vale Road	'Old Fernbrook Farm'/'Milburn Creek'	Lot 10 DP 617495	Yes	Yes

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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No.	Suburb	Address	Item name	Property Description	Community Heritage Study Recommendation	Peer Review Recommendation
593	Wildes Meadow	540 Myra Vale Road	'Rosemount Farm'—weatherboard cottage	Lot 11 DP 751262	Yes	Yes
594	Wildes Meadow	564 Myra Vale Road	Former Methodist Church, now a residence	Lot 1 DP 903704	Yes	Yes
595	Wildes Meadow	375 Wildes Meadow Road	Blacksmith's cottage	Lot 2 DP 1076261	Yes	Yes
596	Wildes Meadow	381 Wildes Meadow Road	'Daisy Hill'—weatherboard house (possible former shop)	Lot 1 DP 152931	Yes	Yes
597	Wildes Meadow	383 Wildes Meadow Road	'Kirklands'—weatherboard cottage (former post office)	Lot 2 DP 749837	Yes	Yes
598	Wildes Meadow	391 Wildes Meadow Road	'Ferriby'	Lot 123 DP 1188895	Yes	Yes
599	Wildes Meadow	372 Wildes Meadow Road	House	Lot 11 DP 1164762	No	No
600	Wildes Meadow	377 Wildes Meadow Road	1950s cottage with new extensions	Lot 4 DP 1076262	No	No
601	Wildes Meadow	379 Wildes Meadow Road	House	Lot 5 DP 1076262	No	No
602	Wildes Meadow	387 Wildes Meadow Road	'Summerfield'—new weatherboard house	Lot 678 DP 1166260	No	No
603	Wildes Meadow	390 Wildes Meadow Road	Brick house	Lot 12 DP 1164762	No	No
604	Wildes Meadow	401 Wildes Meadow Road	Timber house	Lot 26 DP 719034	No	No
605	Wingello	9-13 Bumballa Road	'Wingello Place'—house	Lot 25 DP 751298	Yes	Yes
606	Wingello	1-3 Murrimba Road	Victorian house	Lot 2 Sec 4 DP 759097 & Part Lot 3 Sec 4 DP 759097	No	No
607	Wingello	77 Railway Parade	Victorian era cook ovens (demolished)	Lot 5 Sec 1 DP 759097	No	No
608	Wingello	13-15 Sydney Street	Rail cottage	Lot 1 DP 867647	Yes	Yes
609	Woodlands	37 Kells Creek Road	'Leicester Park'—stone house and slab house	Lot 100 DP 1174711	Yes	Yes

## Vietnam War Memorial Cherry Tree Walk

### Conservation Management Plan

Mittagong Rivulet, Bowral



For Wingecarribee Shire Council

May 2024

By Louise Thom Heritage  
in collaboration with  
Moore Trees,  
Sydney Artefacts Conservation and  
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## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

Cover Images: Vietnam War Memorial Cherry Tree Walk – Monument and Cherry Trees in bloom  
(Wingecarribee Shire Council, 2023)

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DOCUMENT CONTROL			
ISSUE	DESCRIPTION	DATE ISSUED	SENT TO
A	Preliminary Draft Section 1 to 7	13/03/2024	Key Stakeholders
B	Draft	20/3/2024	Wingecarribee Shire Council
C	Draft Section 9 to 13	22/03/2024	Key Stakeholders
D	Final	1/04/2024	Wingecarribee Shire Council
E	Final after WSC feedback	23/05/2024	Wingecarribee Shire Council



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## Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

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## Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

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## **1. Executive Summary**

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The significance of the Vietnam War Memorial Cherry Tree Walk in Bowral NSW should be conserved for present and future generations. The aim of this Conservation Management Plan (CMP) is to investigate and analyse documentary and physical evidence to formulate a statement of cultural significance, and to provide conservation policy to conserve this significance. This CMP was commissioned by Wingecarribee Shire Council.

In summary the CMP is divided into the following sections:

### **Historical and Physical Evidence**

This report concludes that the Vietnam War Memorial Cherry Tree Walk's original form and configuration can be clearly understood. The overall memorial is in good condition – although 27 % of the Taihaku Cherry Trees are in poor condition or dead. A succession plan is in place to replace the trees. It is critical that any works at the memorial be documented and implemented in a way that the significance of the memorial is conserved.

### **Statement of Cultural Significance**

The Vietnam War Memorial Cherry Tree Walk has historic, aesthetic and social significance, and representative and rarity value to Wingecarribee and the Southern Highlands and potentially the State of New South Wales

### **Constraints and Opportunities**

The Vietnam War Memorial Cherry Tree Walk should be retained and conserved. The biggest challenge for the memorial is the health and longevity of the 307 Taihaku Cherry Trees.

### **Conservation Policy**

In summary if the landscape memorial is valued, maintained and managed with care befitting its significance the Vietnam War Memorial Cherry Tree Walk can retain its heritage value and social significance to Wingecarribee and the State of New South Wales.

### **Maintenance**

Maintenance recommendations for this document were informed by the expertise of Level 5 Arborist Paul Vezgoff from Moore Trees. Paul's report contained in Attachment 1 provides a condition description of every tree within the curtilage. The CMP was also informed by the expertise of Anne Cummins, Materials Conservator from Sydney Artefacts Conservation who provided a condition report on all the monoliths which can be found in Attachment 2.

### **Consultation**

As the memorial has very high social significance community engagement was a significant part of this CMP. Wendy Todd assisted the author Louise Thom in reaching out to the Veterans who had previously expressed an interest. In addition wider public consultation was undertaken through Councils web site Participate Wingecarribee, the results of which are included in Attachment 3.

### **Attachments – Arborist and Materials Conservator**

The attachments are an integral part of this CMP. This CMP should only be reproduced as a whole containing all sections including the attachments.

## 2. Introduction

### *Report Objectives*

The Bowral Vietnam War Memorial Cherry Tree Walk was established in 1995 and is currently under the management of Wingecarribee Shire Council. Council has commissioned this Conservation Management Plan (CMP) to guide the future conservation of the memorial.

### *Methodology and Structure*

This document is guided by the methodology provided by the Heritage Council of NSW. Specifically, the following documents:

*Guidance on developing a conservation management plan*, Heritage Council of NSW 2021

*Statement of best practice for conservation management plans*, Heritage Council of NSW 2021

*Conservation management plan checklist*, Heritage Council of NSW 2021

The document is also based upon the standard of practice established in *The Australia ICOMOS Charter for Places of Cultural Significance*, 1999 Revised (The Burra Charter). The author is a member of Australia ICOMOS.

### *Authorship*

This report was prepared by Louise Thom, Heritage Consultant. All photographs unless otherwise specified were taken by Louise Thom.

The report is informed by the expertise of the following specialists:

Paul Vezgoff, Consulting Arborist and Lisa Vezgoff of Moore Trees.

Anne Cummins, Conservator, Sydney Artefacts Conservation.

Wendy Todd, Community Engagement, Planning Plus.

### *Report limitations*

There is a large amount of uncollated documentation in many different locations. There is no centralised repository for information on the memorial and many key documents such as the Council's original Development Application file are missing. The historical background contained in the CMP is therefore limited but sufficient to inform the assessment of significance and policy.

### *Acknowledgements*

Many people were helpful in getting this document together. In particular I would like to acknowledge Ray McCann, Grahame Tooth, Roy Elbourne, Tony Blake and Annabelle Murray. I would also like to acknowledge the help of the staff of Wingecarribee Shire Council.

### *Terms*

The Vietnam War Memorial Cherry Tree Walk is one memorial and should be considered as a whole. The following terms are used throughout the document.

*Table 1. Terms used in this document*

Term used in this CMP	Meaning
Vietnam War Memorial Cherry Tree Walk	The whole war memorial
The Memorial	Vietnam War Memorial Cherry Tree Walk as a whole
Cherry Tree Walk	The Cherry Tree lined pathway

## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

### Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

Term used in this CMP	Meaning
The Monument	The 5 Monoliths, raised mound, four Cherry Trees and garden ring and the Casuarinas.
Sacred Grove	The grove of Casuarinas
Dedicated Area	The wider ceremonial area including the flag pole and the monument and the Casuarinas and pergola. See Figure 48.
The 8RAR monument dedicated area	The 8RAR monument and immediate area within and including the ring of Cherry Trees that was officially dedicated.
The 8RAR monument	The 8 <sup>th</sup> Royal Australian Regiment monument.
Mittagong Road Entrance Pillars	Two monoliths marking the entrance at Mittagong Road.
Boolwey Entrance Pillar	One monolith marking the Boolwey Street entrance.
<i>Taihaku</i> 'Great White' Cherry Trees	The ornamental cherry tree sometimes also spelt Tai-Haki or Tai-Haku, <i>Prunus serrulata</i>
Mittagong Rivulet	Many sources refer to Mittagong Rivulet as Mittagong Creek. Mittagong Creek is used interchangeably to reflect the document cited.

#### *War Memorial (meaning)*

A war memorial is a commemorative object or place intended to remind us of the people who served in and died as a result of war. War memorials may take many forms, but common to all of them is the intention that they remind us of those we have lost to war. (Department of Veterans' Affairs, 2023)

Individual war memorials take different forms. The Vietnam War Memorial Cherry Tree Walk in Bowral is a landscape memorial. Whilst it has distinct parts, they are tied together by the landscape itself. Referred to by the original designers as an environmental memorial it is comprised of an avenue of trees, a monument and a formal ceremonial space seamlessly linked by the parkland, Mittagong Rivulet and the surrounding setting.

#### *Location*

The Vietnam War Memorial Cherry Tree Walk is located in Bowral in the Southern Highlands of NSW.

#### *Study Area*

The Vietnam War Memorial Cherry Tree Walk commences at 142 Mittagong Road, Bowral. It then follows Mittagong Creek (Rivulet) to cross over Victoria Street, then Rose Street, passes the end of Banksia Street, crossing Jasmine and Merrigang Streets, crosses Shepherd Street and terminates at Boolwey Street. The Vietnam War Memorial ceremonial area is in Settlers Park. The Cherry Tree Walk commences in Settlers Park and passes through Rivulet Park, Foley Park and Venables Park.

The property description for the Vietnam War Memorial Cherry Tree Walk includes the following parcels in full or part:

1//85220; 9//260073; 8//260073; 7//260073; 12//603108; 6//260073; 1//612724; 17//11818; 18//11818; 1//1108051; 2//603694; 2//1244951; 4//745766 and part of Banksia Street road reserve.



# AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

## Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

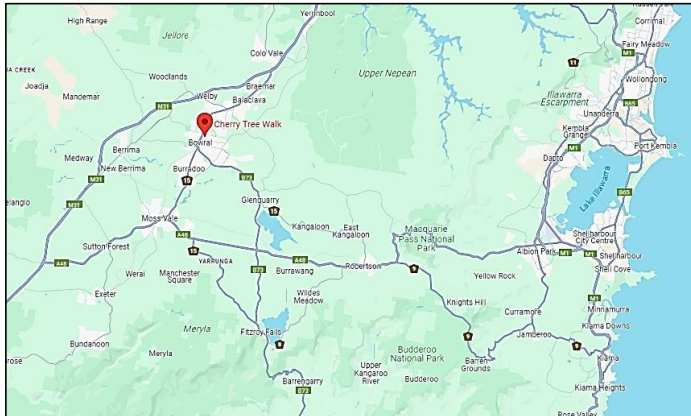


Figure 1. Vietnam War Memorial Cherry Tree Walk is in Bowral in the Southern Highlands of NSW

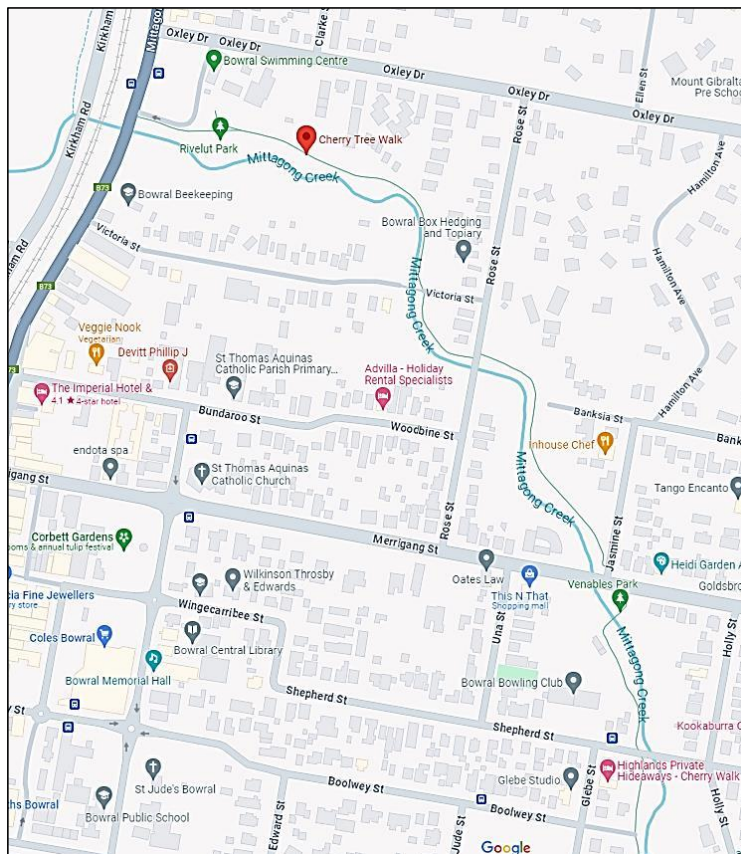


Figure 2. Vietnam War Memorial Cherry Tree Walk is situated between Mittagong Road and Boolwey Street and follows Mittagong Creek. The ceremonial area is in Settlers Park/Rivulet Park

### 3. Heritage Status

#### 3.1. Statutory registers and schedules

There are a number of statutory heritage lists in Australia which are governed by different legislation.

- ≈ A World Heritage site recognises the place is of outstanding value to humanity. The listing is designated by UNESCO.
- ≈ A National Heritage listing recognises places of significance for Australia. The listing is made under the Environment Protection and Biodiversity Conservation Act 1999.
- ≈ A Commonwealth Heritage listing recognises places of significance that are owned by the Commonwealth. The listing is made under the Environment Protection and Biodiversity Conservation Act 1999.
- ≈ An Aboriginal Place declaration recognises the special significance of an area in NSW to Aboriginal people and their culture. The listing is declared by the Minister for Environment and Heritage under the National Parks and Wildlife Act 1974.
- ≈ A State Heritage Register listing recognises a place or object has significance for all of NSW. The listing is made under the Heritage Act 1977 by the Minister for Planning and Environment at the recommendation of the Heritage Council of NSW.
- ≈ A local heritage listing recognises the place has significance to the local government area and community. The listing is included in a local environmental plan, made under the Environmental Planning and Assessment Act 1979.

The Vietnam War Memorial Cherry Tree Walk, Bowral is not listed as a heritage item on any statutory heritage lists, registers or schedules.

Sections of the Memorial are included in Bowral Conservation Area (HCA) which is listed in Schedule 5 of Wingecarribee local Environmental Plan # C59, C89.

#### Statement of significance for the Bowral HCA C89:

*The Bowral Urban Conservation Area is significant as an urban cultural landscape which provides evidence of the phases of major development of the town of Bowral. Each precinct has a different character and presents different aspects of town foundation and growth. Periods represented range from its establishment as a private town in the 1860s through to the interwar period. Functions represented include residential, civic, religious and educational. While the nature of the buildings and the gardens, public and private, illustrate the importance of Bowral as a 'rural retreat' for wealthy Sydneysiders in particular, associations with other community groupings are also represented in more modest vernacular streetscapes which are included in the Area.*

*In addition to the historical attributes the precincts in the Area, possess significant streetscapes which, considered as a whole, reveal the harmonious townscape character which is highly valued by the local community and visitors alike. (Heritage NSW, 2023)*

Vietnam Cherry Tree Walk is contributory to the significance of Heritage Conservation Area C89 as a cultural landscape that is highly valued by the local community and visitors alike.

#### Statement of significance for the Bowral HCA C59:

*Bowral Heritage Conservation Area - Northern Residential Precinct*

## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

### Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

*The Victoria Street Precinct is significant in its associations with the main phases of growth of the town of Bowral. It is a cultural landscape which contains buildings which illustrate a range of residential periods and styles linked to the period of initial development after the opening of the railway to Sydney through to the post WWII period. Thus it is the illustration of layers of development that is the main feature unlike a townscape such as Berrima where there is a consistency of style and period.*

*The precinct is also significant to the local community as a townscape where the houses were built for the "townspeople" and in the main, represent the vernacular forms of domestic architecture of the periods represented in contrast to other areas such as Burradoo where the "grander" more substantial residences were often constructed as summer homes. Thus, while better individual examples of particular architectural styles exist elsewhere in Bowral, there is a sense of place associated with the area which is created by the vernacular character of the built form in combination with the elements of its setting such as the street trees, the creek and the layout of the streets. (Heritage NSW, 2023)*

Vietnam Cherry Tree Walk is contributory to the significance of Heritage Conservation Area C59 as it contributes to the sense of place as an important element within the setting of the creek and parklands.

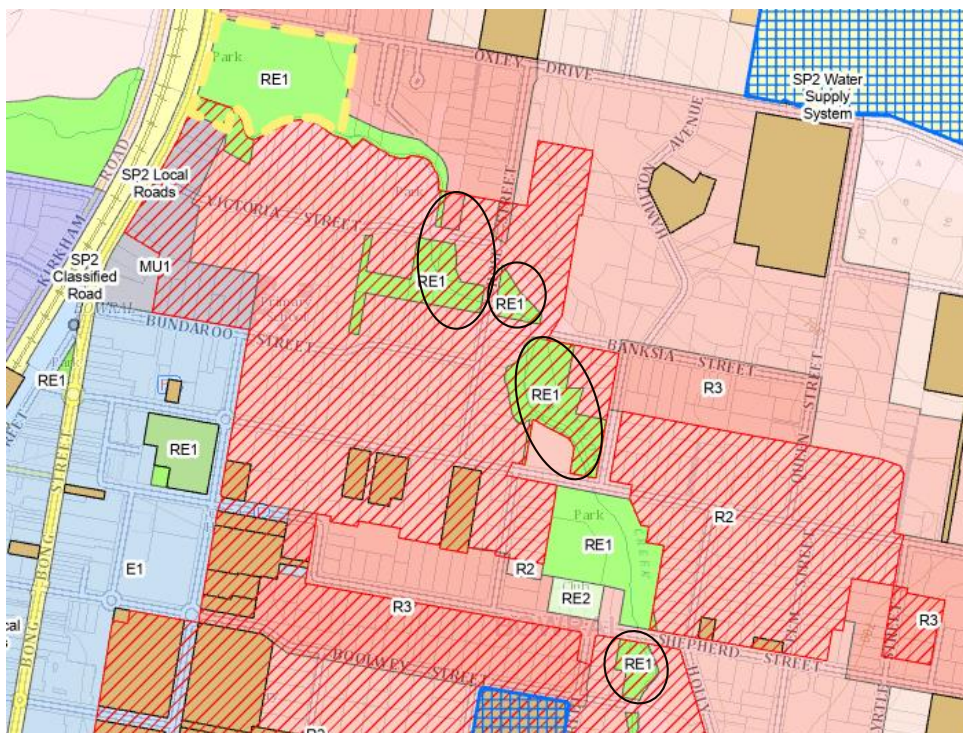


Figure 3. Bowral Heritage Conservation Areas are shown hatched red. Parts of Cherry Tree Walk are inside the HCA Shown circled.

### 3.2. Non-statutory heritage lists

There are a number of non-statutory heritage lists in Australia.

#### *Register of the National Estate*

- ≈ The Register of the National Estate (RNE) was closed in 2007 and is no longer a statutory list. The RNE is maintained on a non-statutory basis as a publicly available archive and educational resource by the Department of Climate Change, Energy, the Environment and Water.
- ≈ The Bowral Vietnam War Memorial Cherry Tree Walk is not listed on the DCCEEW heritage database.

#### *Places of Pride, National Register of War Memorials, Australia*

- ≈ Places of Pride is the National Register of War Memorials in Australia. It is an Australian War Memorial initiative to record the location and photo of every publicly accessible war memorial in Australia. (Australian War Memorial, 2023)
- ≈ The Vietnam War Memorial Cherry Tree Walk, Bowral is listed on the Places of Pride - National Register of War Memorials

#### *NSW War Memorials Register*

- ≈ The NSW War Memorials Register is a database of war memorials in New South Wales. It currently holds more than 3,000 war memorial records, and more than 200,000 veteran records. The Register enables communities to record accurate information about war memorials, provides best practice information about war memorial conservation, and connects memorials and veterans to sustain NSW military and commemorative history. The Register is hosted and maintained by the NSW Office for Veterans Affairs and the State Library of New South Wales. (NSW War Memorial Register, 2023)
- ≈ Vietnam War Memorial Cherry Tree Walk, Bowral is listed on the NSW War Memorials Register.

## 4. Historical Background

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### 4.1. General historical background

#### *Aboriginal history*

Aboriginal groups traditionally occupying the Southern Highlands were the Gandangara (Gundungara) and the Dharawal (Tharawal). People living in the highlands relied upon vegetable sources such as tubers of the yam daisy, wattle seeds and orchid tubers. They caught fish and crayfish in the rivers and hunted possums and larger grazing animals.

The traditional lifestyle of Southern Highlands Aboriginal groups was disrupted when colonial settlement began in the early 19<sup>th</sup> century. This impacted water sources and affected vegetable and animal sources essential to their diet as well affecting their health through the introduction of disease, particularly the influenza epidemic of 1846-7. Some Aboriginal people adapted by working for the new settlers. (NSW Department of Planning, Industry and Environment, 2016)

The Wingecarribee, Wollondilly and Nattai rivers continue to have particular cultural significance to the Gundungurra people. Another place of high cultural significance is Nungungungulla (Jubilee Rocks) which has been recognised as an Aboriginal Place under the National Parks and Wildlife Act for its pre-historic and historic significance.



*Exploration and early settlement*

One of the first Europeans recorded to have entered the County of Argyle was John Kennedy, uncle to Hamilton Hume. In 1817 Dr Charles Throsby explored the southern district, accompanied by Hamilton Hume, Joseph Wild and John Rowley. Throsby had the previous year explored the Illawarra. Throsby made several trips to the Berrima District between 1817 and 1821. (Jervis, A History of The Berrima District 1798-1973, 1986)

Governor Macquarie ordered the commencement of the road south in 1819. It was finally surveyed and built by Surveyor-General Thomas Mitchell in 1833. The road provided access to the district and settlement followed.

A small settlement was established at Sutton Forest which together with Throsby Park, formed the beginnings of the occupation of the district. In 1821 Surveyor-General Oxley commenced surveying lands for the making of grants. The land on which most of Bowral is built today is the eastern portion of a grant of 2400 acres made to John Oxley by the Governor in 1823 in recognition of his services. The Oxley property, known as 'Wingecaribee', also had a homestead of the same name. With later purchases Oxley's holding comprised 5000 acres. It extended from Mt. Gibraltar in the north and from the Old South Road in the east, to the new line of road between Mittagong and Berrima in the west.

In 1867 railway line from Sydney opened and in anticipation for an influx of people, the owners of the large estates began subdividing, with the first town plots sold in 1863. In 1870 Bowral Station opened. Quarrying commenced in the Mount Gibraltar area following the opening of the railway.

The 'Gibraltar Rock Quarries' were opened by Messrs Leggat and Company in 1886. By 1888 Loveridge and Hudson, who had been quarrying poorer quality stone at the top of Oxley Street, took over Chaker's quarry at the top of Cliff Street.

**4.2. Site specific historical background**

The area was originally granted to John Norton Oxley and Henry Molesworth Oxley by Crown Grant on 15 August 1855. John Norton Oxley was the son of John Oxley, Surveyor General of NSW. Henry Molesworth Oxley was the second son of Oxley Snr and lived at Wingecaribee House, Bowral. The 5000 acre estate was given to both John Norton and Henry Molesworth by their father. J. N Oxley received a township area while H. M. Oxley received the grazing portion.<sup>1</sup> (National Library of Australia, n.d.) A small settlement was formed in 1861 when part of the Oxley lands were subdivided as the Bowral Estate. (Jervis, 1937)

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<sup>1</sup> *Oxley Family History*, Sydney Mail, 25 Sep 1918, p.25

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## Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

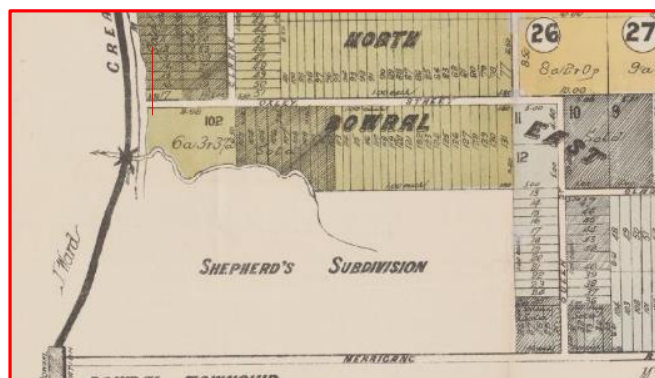
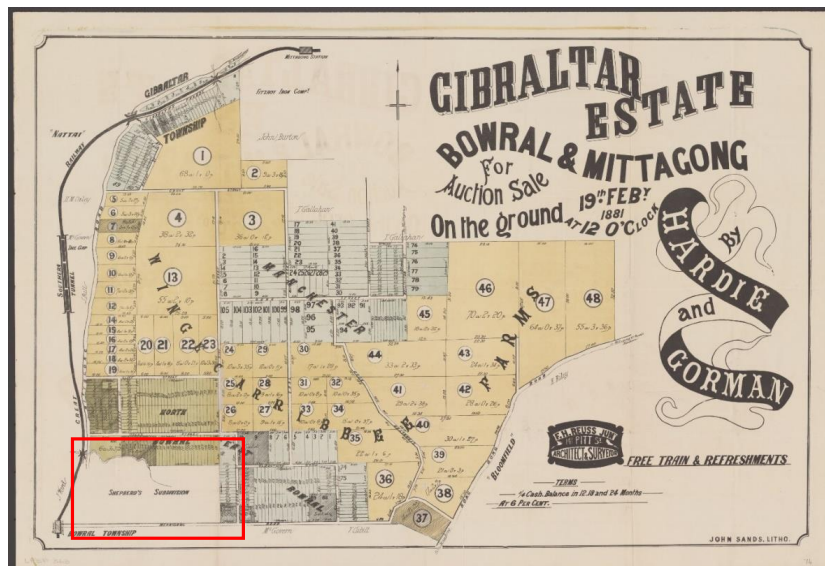


Figure 4. The 1881 subdivision sale plan for Gibraltar Estate, Bowral. Close up view Mittagong Rivulet and Shepherds Subdivision (National Library of Australia, n.d.)

The area where the Memorial is located is in the North Bowral Gibraltar Estate and PLC Shepherd's Subdivision (Patrick Lindesay Crawford Shepherd).

### *Settlers Park (Lot 1 DP 85220)*

Sheldon Property Trust purchased Lot 102 of the North Bowral Gibraltar Estate and part of Lot 5 Section A of Shepherd's Subdivision comprising approximately 6 acres in January 1943. Originally known as Smiths Paddock the land was transferred to the Council of the Municipality of Bowral in March 1966. The land was finally dedicated as a public reserve in April 1974. The reserve did not become known as Settlers Park until 1996 when the Bowral Parks and Gardens Advisory Committee designed the park and dedicated it to the early European settlers in the Southern Highlands.

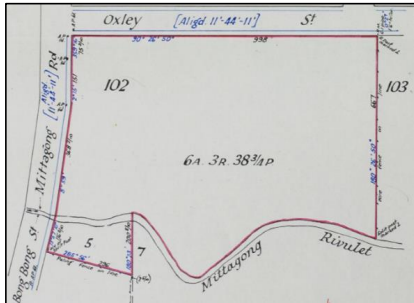


Figure 5. Diagram from land title showing lands which was dedicated as a public reserve in 1974 (CT 5360-62)

The Lions Club of Bowral together with a Skill Share program undertook landscaping and a monument was installed bearing the dedication. Settlers Park was officially opened by Hon. John Fahey MP, Minister for Finance in September 1996. (Micris Management Services, 2008)

*Rivulet Park (Between Mittagong Road and Victoria Street)*



Figure 6. The park at Mittagong Road during 1986 Floods (Bewsher Consulting Pty Ltd, 2009)

Mittagong Rivulet and adjoining lands have been subject to rising waters during heavy rain periods on many occasions.

In 1981 the Tulip Time Management Committee of Bowral proposed turning the area into a pleasure ground with the Rivulet as the main source of interest with at least one play pool for children to sail boats. With winding pebble paths, hillocks of trees and rustic bridges and at least one waterfall. A rustic bridge over the creek was approved by Council on 2 August 1983.





Figure 7. Looking north along Mittagong Road across Mittagong Creek in March 1975 (Bewsher Consulting Pty Ltd, 2009)

Lots 6, 7, 8, and 9 DP 260073 are located between lots facing Oxley Drive and Mittagong Creek. They were surveyed for the Deposited Plan in 1977 and set aside for a public reserve in 1979 and 1980.

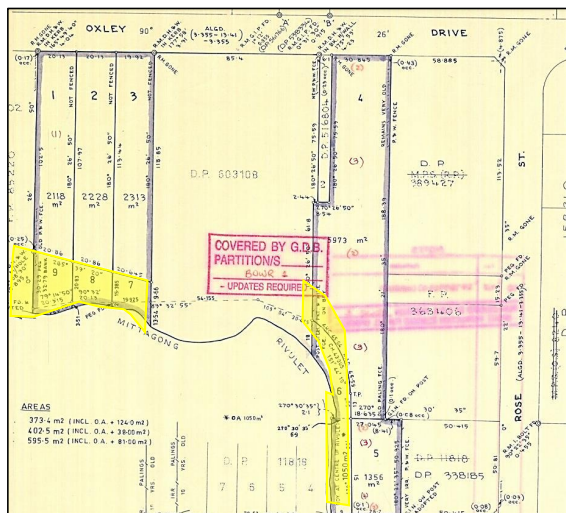


Figure 8. Survey plan for DP260073

*Victoria Street to Rose Street (Lots 13, 17, 18 DP11818 and Banksia Street and Lot 1 DP612724)*

These lots were part of a parcel of land purchased by Frederick Charles Williams a Clerk of Holy Orders from Croydon in February 1923. The two acres were surveyed and subdivided in March that year. The plan of subdivision also shows the end of Banksia Street as a closed Road.

Lots 13, 17 and 18 were sold to John William Norman in October 1925. The lots were transferred to the Council of the Municipality of Bowral in April 1958 (CT3918-112). These lots are now part of Foley Park.

The rear boundaries of Lots 14, 15 and 16 of DP11818 were later adjusted to create a new lot with Mittagong Rivulet and incorporated into Foley Park. Foley Park was donated to the community in 1979. The Park was named after Mr. W.F. Foley, a former Alderman and Mayor of Bowral Municipal

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### Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

Council. Foley Park was formally opened in August 1979 and gazetted with the Geographical Naming Board on the 31st August 1979.

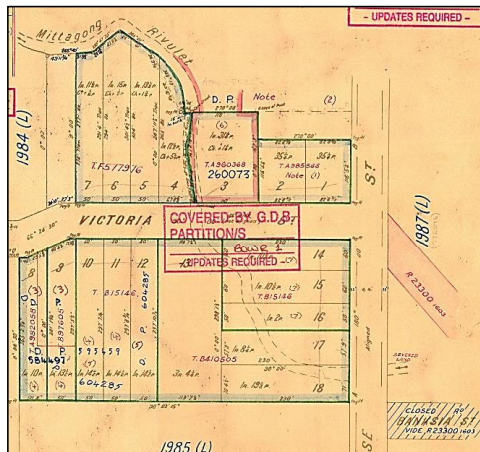


Figure 9. Survey plan of DP11818

Lots 4, 5, 6 and 7 were transferred to the Municipality of Bowral in 1952 (CT6461-129). These lots are now part of Rivulet Park.

#### *Banksia Street to Jasmine Street (Lot 2 DP603694)*

This lot runs from Banksia Street to Jasmine Street. It was owned by Alice Elsie Barton until 1948 when she sold it to Ivy Sarah Clingham. The lot was part of the Shepherds's Subdivision, being Lot 3 of Section 17.

#### *Venables Park, Merrigang Street to Shepherd Street (Lot 2 DP1244951)*

Venables Park was donated to the community in 1956. The Park was named after H. Fergus Venables who was the Mayor of Bowral for a 15 year term and an Alderman for 34 years, the Reserve was officially opened on the 6th October 1956 by Sir John Northcott.

#### *Shepherd Street to Boolwey Street (Lot 4 DP745766)*

The prior title to this lot is CA23012 (Converse Action). No information has been found on this lot.

#### 4.3. Chronology

This chronology is compiled from a large number of sources with the principal information sources being books by Naoko Abe (Abe, 2019) and Peter Edwards (Edwards, 2014), Wingecarribee Shire Council files (Wingecarribee Shire Council, 1996-2005), a timeline compiled by Berrima District Historical Society provided in documents provided by the Southern Highlands Vietnam Veterans Peacemakers and Peacekeepers Association (Southern Highlands Vietnam Veterans Peacemakers and Peacekeepers Association) and *Vietnam War Memorial Cherry Tree Walk* by Graham Tooth (Tooth G. , 2023).

Date	Event
Taihaku Cherry Tree (Abe, 2019)	
1919	Englishman Collingwood Ingram first became interested in Cherry Trees.
1923	Ingram visits Annie Freedman at Greyfriars Estate where he found a cherry tree he hadn't seen before and took a cutting which he grew at his home 'the Grange'. <i>The blossoms, were huge up to 2.4 inches and the leaves as long as 7.5 inches.</i> (p145)
1925	Ingram's Japanese friend, Duke Nobusuke Takatsukasa, visited the Grange and named the large flowering tree 'Taihaku' – the Great White Cherry
1926	In a trip to Japan Ingram noted that many species of cherry trees were endangered or extinct. He arranged for Cherry Tree 'scions' from all over Japan to be shipped to him in England.
1926	Ingram learns that Taihaku is extinct after Seisaku Fonatsu showed him a painting by his grandfather of the once flourishing Taihaku.
1930s	Collingwood "Cherry" Ingram was importing and exporting seeds and scions all around the world and was fast becoming the leading Western expert on Cherry Trees.
1932	After numerous tries Ingram successfully exported a Taihaku seedling to Japan.
Australia and the Vietnam War (Edwards, 2014)	
1962	Australian government announces deployment to Vietnam of Australian Army Training Team Vietnam (AATTV) and an RAAF squadron to Thailand.
1964	Australian government introduces selective conscription for 20 year old males under the National Service Act.
1965 Apr	Prime Minister Menzies announces commitment of an infantry battalion to Vietnam.
1965 May	1 <sup>st</sup> Battalion, Royal Australian Regiment (1RAR)(1100 personnel) arrive at Bien Hoa air base in Vietnam to serve with a US brigade
1966 March	Australian commitment increased to 4500 personnel including 500 conscripts
1966 Aug	Battle of Long Tan
1967 Oct	Third infantry battalion committed. Australian commitment reaches 8000 personnel
1968 Feb	John Gorton Prime Minister announces no further Australian commitment to Vietnam
1969 Jun	US President Nixon announces withdrawal of 25 000 US troops
1970 May	First Moratorium protests against Australia's involvement in the war

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### Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

Date	Event
1971 Aug	Prime Minister McMahon announces all troops to be withdrawn by Xmas. AATTV to remain
1972	Gough Whitlam was elected as Prime Minister and immediately stopped national service
1972 Feb-Mar	Withdrawal of most remaining army and RAAF forces leaving small contingent in non-combat roles
1972 Dec	Final withdrawal leaving a platoon to guard the embassy in Saigon.
1973 Jan	Governor General proclaims cessation of hostilities in Vietnam by Australian forces.
Vietnam War Memorial Cherry Tree Walk, Bowral (Various sources see references)	
1994 Apr	Bowral Parks and Gardens Advisory Committee formed as a committee of Wingecarribee Shire Council (WSC)
1994 June	First meeting of BPGA Committee. Effie Kerr, Chair and Kevin Gallagher Vice Chair and Secretary.
1994 Jul	After inspection of Mittagong Rivulet the BPGA Committee determine to develop its potential.
1994 Aug	Kevin Gallagher, Landscape Architect, presents proposal to BPGA which includes planting either side of the existing pathway with Kanzan Cherry Trees, a popular tree found in Corbett Gardens.
1995 Feb/	BPGA present their concept for Mittagong Rivulet to WSC and were appointed under section 355 of the Local Government Act as the management committee for Mittagong Rivulet Reserve.
1995 May	BPGA Committee made a presentation to an Ordinary Meeting of WSC regarding the Mittagong Rivulet Refurbishment Project. Stage 1 of the project was approved with the other stages to be reviewed in 12 months.
1995	The first stage, Settlers Park was completed.
1996 May	First four Taihaku Cherry Trees planted with a small ceremony.
1996 Sept	Effie Kerr, Chairperson Bowral Parks and Gardens Committee seeks Council funds to establish a new Trust to manage public donations and the construction of the Vietnam War Memorial in the Mittagong Rivulet Reserve.
1997 Mar	First meeting of Bowral Vietnam Memorial Walk Trust Inc.
1997	150 Cherry Trees stored and growing at a local nursery
1997 May	First large Commemorative Ceremony and Planting of 12 trees, attended by 200 people including Veterans from Victoria and Queensland and ACT and all over NSW
1998 Jan	Grant funding from Dept Veterans Affairs. Seeking funds from individual donations of \$250 per tree. Monument estimated to cost \$35,000
1998 Jan	250 Cherry Trees ordered. 250 have been grafted and are growing at Pikes Nursery at Neerim Junction in Victoria.
1998 Jun	Tree planting ceremony

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### Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

Date	Event
1998 Oct	Delegated authority granted by WSC to the Trust to undertake continued development of Settlers Park, Cherry Tree Walk and Mittagong Rivulet Reserve.
1999	The Trust receives notification that a new sewer line is going to affect the area planned for the monument and will affect dedicated cherry trees.
1999 May	The monument location is moved closer to the Casuarinas and the first dedicated cherry trees are to be repositioned at Councils expense.
1999 May	Development Application approved by WSC
1999 Jun - Aug	Construction of the monument
22 Aug 1999	Dedication Ceremony for Monument. Starting with March of Veterans from all wars from Corbet Gardens to the Vietnam Monument and finishing with lunch at Mittagong RSL.
1999 Sep	The Trust decided not to provide lighting at the monument.
1999	Vandalism and flooding leads to loss of trees
1999 Nov	Flooding of Mittagong Rivulet carries away 21 cherry trees.
2000	Donation of brick pavers for a garden edge around the monument and planting of Ajuga <sup>2</sup> in garden beds
2000	The Rotary start work on the pergola
2000 May	Vandalism to monument including removal and smashing of granite tiles
2000 Sept	Sewer line under construction causing delays in tree planting.
2001 Aug	Council to plant 200 Cherry Trees
2001 Aug	Remembrance service
2002	Bowral Urban Landcare Group seek environmental management of the riparian environment of Mittagong Rivulet, which appears to be supported by WSC
2002	Effie Kerr received OAM nominated Vietnam Vetrans who constructed monument and Bowral Garden Club.
2002 Apr	Council confirms its long standing support for the Cherry Tree Walk. Approval granted for extension to Bowral Street. Trust to submit details of remaining planting between Merrigang Street and Old South Road. (Ordinary Meeting 24 April 2002)
2003	The original tiled surface of the monument – ¼" black granite tiles fixed with adhesive began to fail and was exacerbated by vandalism.
2003	125 Trees ordered at a cost of \$6,875
2003	Grants received to refurbish the monument

<sup>2</sup> Ajuga (Ajuga reptans) or Carpet Bugle Weed is often used in shady gardens as a low ground cover. Often grown for their rosettes of bronze or dark green leaves and their blue flowers that make an appearance in spring or early summer. <https://www.yates.com.au/how-to-grow/ajuga/>

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### Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

Date	Event
2004	Refurbishment of Monument, granite sheets used and a different style of plaque.
2003-2004	Southern Highlands Vietnam Veterans Peacemakers and Peacekeepers Association formed. Association conducts ongoing annual Vietnam Veterans Day services at the memorial.
2004 Feb	Rededication of memorial commemoration. Guests of Honour include Governor General of Australia Major Michael Jeffery and WO2 Keith Payne VC a Victoria Cross recipient for service in Vietnam.
2004 Feb	Unveiling and blessing of 8 <sup>th</sup> Battalion Royal Australian Regiment (8RAR) Vietnam Memorial and planting of a Cherry Tree beside the Cherry Tree Walk.
2005-2006	Preparation of Plan of Management for Mittagong Creek Reserve causes concern. Council proposes to move line of Cherry Trees to plant riparian species. This causes alarm to the Trust and the Veteran community. An international petition results in hundreds of letters to WSC from USA and Canadian Vietnam veterans.
2006 Aug	40 <sup>th</sup> Anniversary of the Battle of Long Tan commemorated at the memorial.
2006	Entrance pillars at Mittagong Road installed by Genner Constructions
2008	Plan of Management for Mittagong Creek Reserve adopted by Council.
2009-2010	Entrance pillar at Boolway Street constructed by Box Concrete company
2011 Feb	Bowral Vietnam War Memorial Trust is disbanded, and care of the Memorial is given over to WSC.
2016 Feb	50 <sup>th</sup> Anniversary of the Battle of Long Tan commemorated at the memorial.
2016-2017	Council Meeting moved to replace 100 dead or missing trees at full cost to council
2018	Plaque installed commemorating work done by Effie Kerr
2021	The garden at the base of the monument becomes overgrown and causes concern to the local Vietnam Veterans Peacekeepers and Peacemakers Association of Australia, Southern Highlands Sub-Branch Inc. (Vietnam Veterans Assoc.) who wish to plan future commemorations at the monument.
2021	Project brief for restoration and 'future proofing' prepared by the Vietnam Veterans Assoc. and approved by WSC subject to funding from Veteran's Affairs.
2022	The living wreath in the garden bed around the monoliths (originally petunias and ajuga replaced with rosemary) removed and replaced with bark chips.
2022 Feb	<i>In February 2022, Council made an application for a Grant of \$132,000 under the Saluting Their Service Commemorative Grants Program on behalf of the Vietnam Veterans Peace Makers and Peace Keepers Association of Australia Southern Highlands Sub-Branch and was successful in obtaining \$61,000 for works to the Bowral Vietnam War Memorial. (Council Minutes 19 April 2023)</i>
2023	Works authorised and undertaken by Wingecarribee Shire Council to realign the two rings of the living wreath and install a low concrete retaining wall below ground level to protect the monument from flooding. This changed the dimensions of the flower bed and modified its height which originally followed the contour. This work was the source of strong disagreement between Veterans who constructed the monument



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### Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

Date	Event
	and the Vietnam Veterans Association. Note: See policy 12.4.
2023	Petition and representations from some Veterans who were involved in the original construction of the monument presented to WSC objecting to the works to the Vietnam War Memorial.
2023 April	Wingecarribee Shire Council adopt a motion to proceed with a Conservation Management Plan prior to any other works taking place.
2023 Aug	Department of Veterans Affairs sponsors 50 <sup>th</sup> Anniversary of the end of the Vietnam War commemoration service at the memorial hosted by Vietnam Veterans Association.
2023 Dec	Southern Highlands Vietnam Veterans Peacemakers and Peacekeepers Association ceases to operate and Mittagong RSL Sub-Branch takes on a caretaker role.

#### *Historical notes on Taihaku Ornamental Cherry (Prunus serrulata)*

In Japan cherry blossoms, or *sakura* as they are known, are a national symbol, signifying new life and beginnings. During cherry blossom season the Japanese visit parks and avenues of trees where they hold *hanami* or cherry blossom viewing parties. Today cherry blossom season is limited to a flowering season of about eight days due to the homogeneity of the preferred cherry species cultivated in Japan. Historically over thousand of years there were hundreds of species cultivated. This is now limited to about 10 specimens with the majority being *Somei-yoshino*. (Abe, 2019)

The disappearance of historic cherry trees was noted by Englishman Collingwood “Cherry” Ingram in his visit to Japan in the 1920s. Ingram became a passionate collector of Cherry Trees, establishing a large collection in his garden in Kent where he introduced about 50 different kinds of cherries from Japan. Ingram’s most enduring legacy was saving the *Taihaku* “Great White” which had become extinct in Japan. It is thanks to Collingwood Ingram that the Bowral Cherry Tree Walk has been able to create an avenue of honour with these once endangered trees. (Abe, 2019)

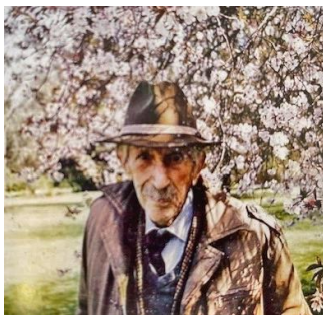


Figure 10. Collingwood Ingram in his garden at 'the Grange' (Abe, 2019)

#### 4.4. Bowral Vietnam War Memorial Cherry Tree Walk

On 3 March 1995 the Southern Highland News published an article about the early concept for the memorial. The article stated that Effie Kerr, Kevin Gallagher and the Bowral Parks and Gardens Advisory Committee would like to see Bowral Swimming Pool Park upgraded as a first stage in the



refurbishment of the Mittagong Rivulet and surrounding green areas. In 1996 the Bowral Vietnam Memorial Walk Trust was formed with Chairperson Effie Kerr, the Vice Chairman Sir James Willis, Secretary Kevin Gallagher and Treasurer Darrell Chadwick.<sup>3</sup> The Trust was incorporated so that it could accept donations and make decisions relevant to the management of the memorial. The Mayor of WSC was a member of the Trust and meetings were often held in the General Manager's or the Mayor's office.

The Trust organised tree planting ceremonies which were attended by Veterans from Australia wide as well as dignitaries and politicians. Some ceremonies were smaller and were prompted by donations from individuals. The first large ceremony was held on Veterans Day on 22nd August 1999 when the monument was unveiled and dedicated. Newspapers reported 2000 Veterans were expected at the dedication ceremony coming from all over Australia. On the day over 3000 people; Vietnam Veterans, their families and friends and the community of Southern highlands attended the ceremony.



Figure 11. Effie Kerr OAM with Tony Spriggett at the memorial circa 2003 (Berrima District Historical Society)

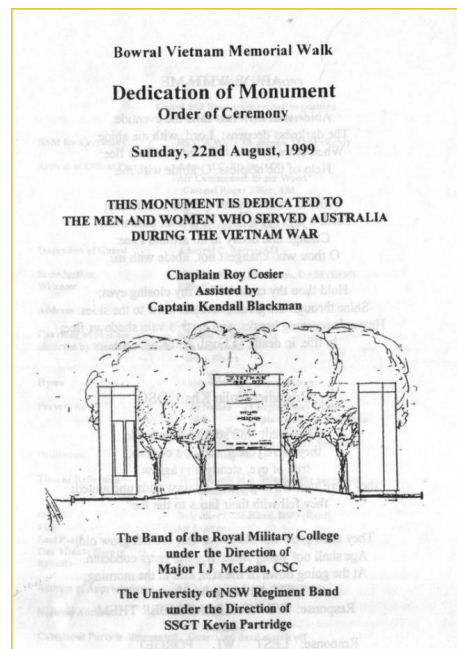


Figure 12. Order of ceremony for the dedication of the monument 1999 (Southern Highlands Vietnam Veterans Peacemakers and Peacekeepers Association)

Over the years as the division of tasks became necessary and a management committee was formed to organise ceremonies and care for the memorial. A copy of minutes from a May 2002 meeting shows that the Bowral Vietnam Memorial Management Committee was in charge of organising ceremonial events as well as coordinating working days with volunteers. The Trust Directors seemed

<sup>3</sup> This information came directly from Councils files. (Wingecarribee Shire Council, 1996-2005)

to take on a more formal role. It is noted that Effie Kerr was both a Trust Director and a Management Committee member. (Wingecarribee Shire Council, 1996-2005)

#### 4.5. Evolution of the design

Kevin Gallagher prepared a written report on the construction program in 1997 which he revised in 1999 that contains detailed notes on the planned memorial and attached was a sketch marked Sketch 4 shown in part in Figure 13. This drawing is significant as it shows the dedicated area which included the monument, the casuarina grove and the open grassed area. The pergola was not included in the ceremonial area. Some of the plans did not eventuate such as the ceremonial steps, a wall commemorating donors, and a footbridge over the rivulet leading to an ornamental garden. Gallagher also prepared a sketch of the monument which was one of many. The final design for the monument submitted to Council in the Development Application was specified in the engineering drawings (Figure 15).

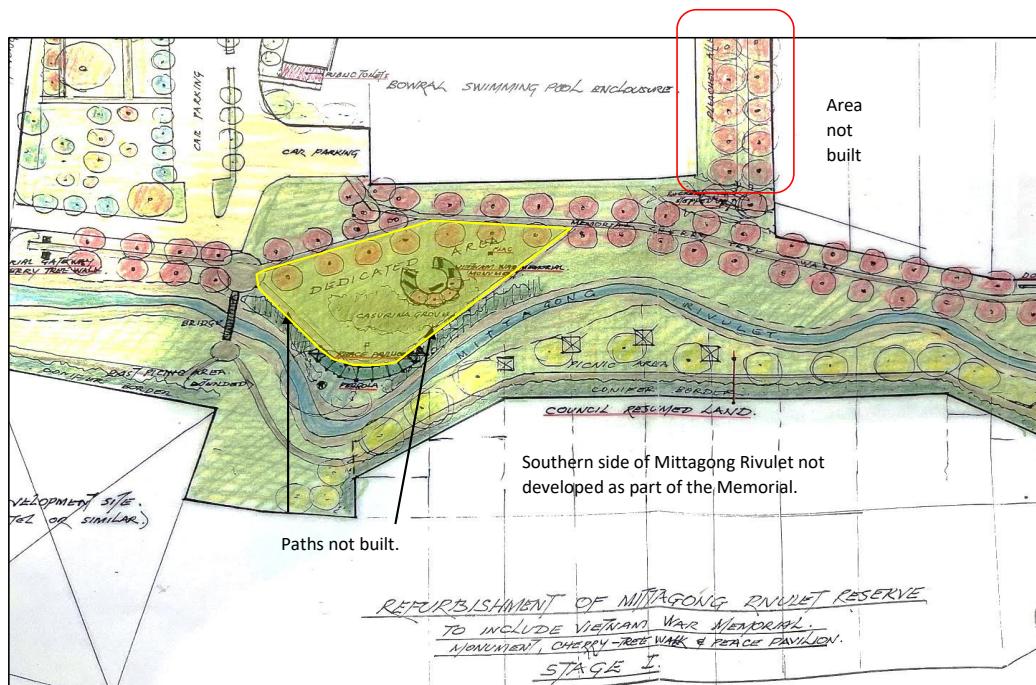


Figure 13. Schematic Layout by Kevin Gallagher. This drawing shows the dedicated area shaded darker green and outlined and shaded yellow by Louise Thom Heritage. All mark up by LTH. (Wingecarribee Shire Council, 1996-2005)

#### 4.6. Memorial Design

The Vietnam War Memorial Cherry Tree Walk is an 'environmental memorial' to Australians who served and died in the Vietnam War.<sup>4</sup> It was to feature Taihaku 'Great White' Cherry Trees planted

<sup>4</sup> Environmental memorial is a term adopted by Effie Kerr OAM and Kevin Gallagher and used by the Bowral Vietnam Memorial Walk Trust.

either side of a pathway following Mittagong Rivulet each representing an Australian killed in the Vietnam conflict.<sup>5</sup> The existing number of Taihaku Cherry Trees is 307. A feature of the memorial is the monument which provides a recognition for the service of all Australians who served Australia in the conflict and is a focal point for commemorative events. The monument consists of a circular raised mound, a highly symbolic element which can be found in numerous other war memorials.<sup>6</sup> It has four polished black granite monoliths engraved with all the names of the Australian Vietnam War dead set in a semicircular garden bed with four Taihaku cherry trees. A fifth dedication monolith is centred on the circular grassed mound. When planted as intended the garden bed forms a living wreath encompassing the monoliths with the names of the fallen. Behind the wreath is a sacred grove of Australian Casuarina Trees. The monument is deemed to be sacred and located on 'holy ground' in the same way a headstone or grave carries profound meaning on multiple levels. The ceremonial area containing the monument was dedicated in 1999 and rededicated in 2004. In these ceremonies the monument and surrounding memorial landscape were consecrated by a member of clergy.

The design of the Memorial was conceptualised by Effie Kerr and developed and realised in conjunction with Kevin Gallagher and the Bowral Parks and Gardens Advisory Committee and later the Bowral Vietnam Memorial Walk Trust. Landscape architect, architect and heritage architect Kevin Gallagher prepared numerous sketches with various designs as well as a model of the monument.

In 1997 Kevin Gallagher described the monument as having 4 free standing monuments and a central sculpture.

*The memorial would have four free-standing monoliths carrying 504 names of those killed in the war and, in front of these, a small symbolic sculpture signifying "reconciliation". The sculptural form would carry the words VIETNAM WAR 1965 – 1973 and the motto, They Served Their Country With Honour". The whole ensemble (monoliths and sculpture) would be set beside the walk within the ring of four TAI HAKU cherry trees already planted last year.<sup>7</sup>*

As with many of the initial ideas for the memorial it evolved over time and in discussion with the Trust with the final design changing from a central sculpture to become another monolith.

The underlying concept which was restated year after year in the brochures printed for commemoration and dedication ceremonies is captured below.

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<sup>5</sup> According to the Australian War Memorial 523 Australians were killed between 3/8/1962 and 29/4/1975 in the Vietnam War. [https://www.awm.gov.au/articles/encyclopedia/war\\_casualties](https://www.awm.gov.au/articles/encyclopedia/war_casualties)

<sup>6</sup> Ken Inglis describes the Shrine of Remembrance in Melbourne as "rising from a mound in the Domain" - holy ground based on ancient forms. (Inglis, 2008)

<sup>7</sup> Meeting Minutes of Bowral Vietnam War Memorial Walk Trust (Undated circa 1997)

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***Vietnam War Memorial***

*The design proposal for the War Memorial was to avoid the single built monument in favour of a series of parkland amenities, each having a commemorative aspect, so that they become the memorial. Included was to be a simple monument built within a ring of trees which will carry the names of the Australian war dead from the Vietnam conflict. Primarily there was to be a commemorative pathway, approximately four kilometers long, lined with cherry trees to be named The Cherry Tree Memorial Walk.*

*The Monument is integrated with the Cherry Tree Walk which is the major feature of the Memorial. It is designed to be seen in a large parkland setting and not in an urban environment. In keeping with this natural setting and the request for understatement, design references for the form of the Monument are taken from timeless landform imagery:- the circle, the sacred grove of trees, a ring of monoliths, the earthen mound and so forth. A modern interpretation of these ageless forms is used here. Thus we have a ring of four polished black granite monoliths obliquely grouped around a grassy knoll on which stands a fifth upright, the dedication monolith, set within a semicircle of cherry trees. The whole grouping, four cherry trees and monoliths, is set in a circular flower bed – a permanent wreath. The whole grouping is backed by a screen of Australian casuarina trees.*

*Commemorative Order of Service Program, 24 August 2002*

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Effie Kerr OAM worked tirelessly to make the memorial a reality. She was highly respected and a woman of great strength and influence. She was successful in gathering sponsors within the business community. Volunteers who worked on the monument such as Grahame Tooth were also influential in organising sponsorship. Peter Genner of Genner Constructions who contributed greatly to the construction of the monument and entry at Mittagong Road. Darral Chadwick supported the project for 15 years as did Ken Halstead OAM, engineer and Councillor on Wingecarribee Shire Council.

***Cherry Trees***

Planting of *Taihaku* Ornamental Cherry (*Prunus serrulata*) began with four trees which were intended to be part the living wreath of the monument. These trees were planted in a tree planting ceremony on 20 May 1996 and were the first trees planted in the Vietnam War Memorial Cherry Tree Walk. Unfortunately, after they had been planted the sewer line was realigned and the trees had to be moved along with the proposed location of the monument.

In a letter to Council Kevin Gallagher describes the specification for the trees:

*A major part of the Vietnam War Memorial in Mittagong Rivulet Reserve, Bowral, is the planting of a walkway of 504 cherry trees to commemorate those servicemen killed in the war. . .*

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Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

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*Our specification for these trees is that they be 'Tai Haku' cherries, three years old, grown straight for 'avenue planting', under pruned to 1.8 metres, of high quality approved by a nurseryman representative, and potted up (not bare rooted) ready for planting.<sup>8</sup>*

Tree planting ceremonies continued whilst the Vietnam War Memorial Cherry Tree Walk was established. The ceremonies were important means to gather support and recognition for the project and were often attended by persons of influence who advocated for the project and often contributed funding. For example, in 1997 200 people attended a tree planting ceremony and amongst the attendees were, veterans from Victoria and Queensland, Federal Minister for Finance John Fahey, State MP Peta Seaton, Wingecarribee Mayor Jim Tuddenham and former Senator Sir Robert Cotton.<sup>9</sup> A tree planting ceremony in June 1998 was focussed more on those who had served in the Vietnam conflict. Trees were planted by Veterans or families of Veterans who had lost someone in the Vietnam War. Mrs Allison Richmond who was assigned to the Australian Embassy in Vietnam between 1963 and 1965 planted a tree in recognition of the ancillary groups in Vietnam.

*We always think of the three arms of the defence services but the ancillary groups who served in Vietnam are also recognised by this memorial. Effie Kerr (OAM)<sup>10</sup>*

In April 1997 Wingecarribee Shire Council called for expressions of interest for a nursery to supply Tai Haku Cherry Trees for the memorial. A specification was prepared by Bowral Parks and Gardens Advisory Committee:

*SPECIFICATION: Cherry Trees for Vietnam War Memorial "Cherry Walk"*

*Species: PRUNUS SERRULATA – cultivar "Tai Haku"*

*Height: Every tree is to measure 3000 mm above ground when planted.*

*Character: Trees are to be true to type with single straight trunk in excess of 65mm calliper. They must have a clear stem height in excess of one metre: ideally grafted as "half Standards".*

*All trees must have the same foliage (size texture and colour) and the same extension growth as a vigorous specimen of the species . . .*

*Maximum variation in crown balance on opposite sides of the trunk to be 20%.*

*All trees supplied must show a uniformity of growth with consistent internode distance on trunk and branches proportional to the nature of the species . . . (Wingecarribee Shire Council, 1996-2005)*

The specification stated that eventually 504 trees would be needed and to be supplied at 100 per annum. In 2000 the supplier for the cherry trees was John McKenzie, Mount Murray Nursery, in Bowral.

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<sup>8</sup> Kevin Gallagher, Secretary, Bowral Vietnam Memorial Walk Trust to Wingecarribee Shire Council 8-6-00

<sup>9</sup> The District Times 26-5-1997 from Council file No. 6527/14.1

<sup>10</sup> Southern Highland News 19-06-1998 from Council file No. 6257/14.1

*Construction of the monument*

Development consent for the Monument was granted by Wingecarribee Shire Council on 10 May 1999 (DA-342/99). The approval granted combined consent for development, a construction certificate and land use as the land was owned by WSC. Drawings were prepared by Kevin Gallagher and BBK Head and Associates Consulting Civil and Structural Engineers.

The construction of the monument was undertaken by a team of nine volunteers, all Vietnam War Veterans with a combined set of skills in construction and engineering.<sup>11</sup> Grahame Tooth's description of the construction of the monument is a very descriptive and detailed account and is best read in his book. (Tooth G. , 2023)

The monument was constructed by volunteers using materials and labour donated by businesses such as Genner Constructions, Gardner Excavations, Welby Bobcat and Tipper Hire and Mittagong Cement Products<sup>12</sup>. (Tooth G. , 2023)

The monument is comprised of five monoliths mounted on three slabs each with four piers.

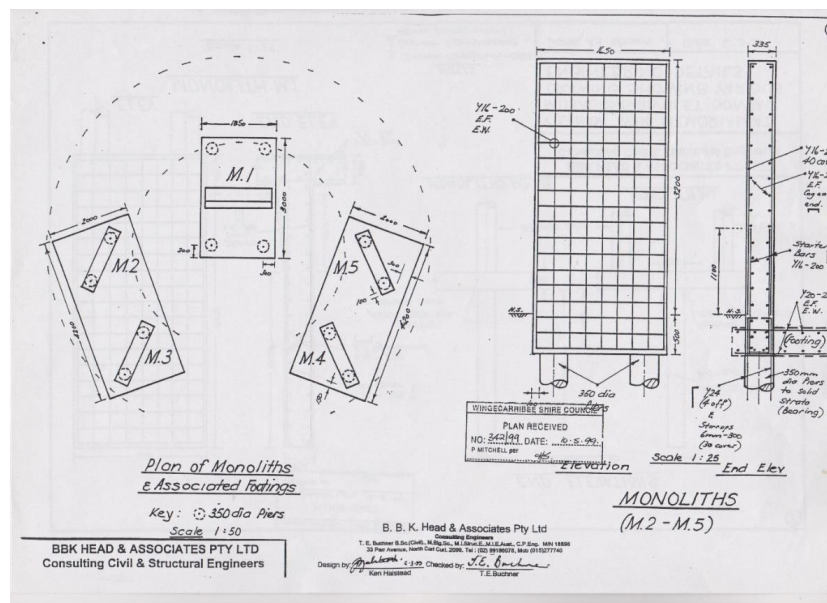


Figure 14. Approved Development Application - Engineers drawing of monoliths (Supplied by Graham Tooth)

The construction of the monoliths took eight days after which the monoliths were faced with black granite tiles fixed to the cement face of the monolith with adhesive. These tiles have since been replaced. Names on the monoliths were etched onto bronze plaques and gold leaf inscribed granite tablets were also fixed to the concrete face.

<sup>11</sup> Volunteers included Grahame Tooth, Doug Blatch, Bruce Boffinger, Rodney Smith, Dennis Mulquiney, Billy Lamb, Roy Elbourne, David Babbage and Billy Clack (Tooth G. , 2023)

<sup>12</sup> A list of businesses was published in the Southern Highlands News in 1999 included the following: W & M Saunders Transport, Tulip Time Festival, BHP Ltd, Genner Constructions P/L, RTA, Empire Cinema, Mittagong RSL, Welby Bobcat & Tipper Hire, Gardener Excavations and Piers, Rentaquip (NSW) P/L, Mittagong Cement Products, Mittagong Timber & Trading, K & C Turner, John Mulquiney Landscapes. (Tooth G. , 2023)



The site was turfed so that it merged with the surrounding grassed parkland and a flag pole was installed. The circular garden bed established by the Bowral Parks and Garden Club.

The design drawn by Gallagher originally positioned the Monument closer to the path. However, the Shire Council decided to install a new sewer line in the vicinity of the path and through the location of the proposed monument and four existing dedicated cherry trees. In addition, they relocated a water main and drainage line from the swimming pool. The Trust was not made aware of the proposal until they lodged their Development Application. It wasn't until April 1999 that a meeting with the Trust and Council took place and the location of the new sewer line was discussed. (Wingecarribee Shire Council, 1996-2005)

The finished Monument was dedicated on 22 August 1999.

#### 4.7. The Pergola

At the rear of the monument closer to Mittagong Rivulet is a pergola which was part of Kevin Gallaghers original design. The Rotary constructed the pergola in 2000 as a peace pavilion:

*. . . intended to embrace and describe the dedicated area of the Vietnam War Memorial. . .*

This sentence contributes to the understanding that the curve of the pergola defines the southern edge of the dedicated area without being a part of the dedicated area. The pergola project was a Rotary undertaking to celebrate their 60<sup>th</sup> anniversary. The structure that was built is a simplified version of the plans prepared by Kevin Gallagher. The floor of the pergola which is currently grassed was intended to be lined with a paved surface which joined pathways at either end which were also not built. A garden bed and three seats were positioned on the outer curve. Roses were donated by Swane's Nursery to complete the Rotary Peace Pavilion. The variety of rose was called "4<sup>th</sup> of July" to symbolise the Australian participation with American Forces in the Vietnam War.<sup>13</sup>

#### 4.8. 8 RAR Memorial

Located along the Cherry Tree Walk to the east is a small clearing ringed by Taihaku Cherry Trees and in the centre is a small monument to the 8<sup>th</sup> Battalion Royal Australian Regiment (8 RAR). This monument was dedicated on 28 February 2003. It is the only monument to a specific regiment within the Vietnam War Memorial Cherry Tree Walk.

The 8RAR monument was not part of the original design as the main monument carries the names of all the fallen from all regiments. The 8RAR monument is now imbued with meaning and is a dedicated monument that has been included in ceremonies at the memorial.

Opinions varied as to whether having monuments to specific regiments was appropriate within the memorial. The minutes of one meeting of the Bowral Vietnam Memorial Walk Trust mentioned that there were other spaces within the memorial that could be utilised by other regiments if they sought to do so. This was presented in the minutes as a passing comment rather than a Trust decision. After sever vandalism to the memorial the Trust made this statement in its 2004 report:

*While we were enthusiastic to construct specific Regimental areas along the 'Walk', it is now doubted if we would ever undertake another Regimental Park such as the 8RAR parklet. . . The vandalism that specifically pin pointed this area, caused near total destruction of the small 8RAR Memorial area and*

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<sup>13</sup> Bowral Vietnam Memorial Walk Trust, Newsletter Volume 1 Issue 8



*was devastating to the 8 RAR Association. The cost of its repair could be considered an unfair burden on public funds. . .<sup>14</sup>*

#### 4.9. Resurfacing and rededication of the monument

On 28 February 2004 the monument was rededicated after extensive work to rectify damage. Over the years the memorial has faced many issues. In a report from 2003 vandalism to trees included, stealing trees, breaking branches, scarring trunks and pushing and pulling trees causing them to grow at an angle. The trees in Venables Park were affected badly with only 1 out of 50 trees surviving. (Wingecarribee Shire Council, 1996-2005)

In 2003 the Southern Highlands News reported that the tiles used to cover the monument were coming loose and were in urgent need of replacement. Many other tiles were stained or discoloured. After consulting a 'granite-fixing expert' it was decided to remove all tiles and plaques and replace them with slabs of black granite. The sheets of granite would be ½" and attached to the monoliths with stainless steel dowels and wire clamps. This method was intended to allow moisture to flow between the granite and the concrete. After a considerable amount of fundraising by Effie Kerr OAM which included writing letters to businesses and politicians the estimated cost of \$35,000 was raised. The work was carried out in 2004 in time for the rededication ceremony.



Figure 15. Photograph taken in 2019 showing the Cherry Trees in bloom, landscaping at the base of the monoliths and on the far right an existing seat. (Blake)

<sup>14</sup> Extract from Bowral Vietnam Memorial Walk Trust, Cherry Tree Walk Report Stage 1 2004 (Southern Highlands Vietnam Veterans Peacemakers and Peacekeepers Association)

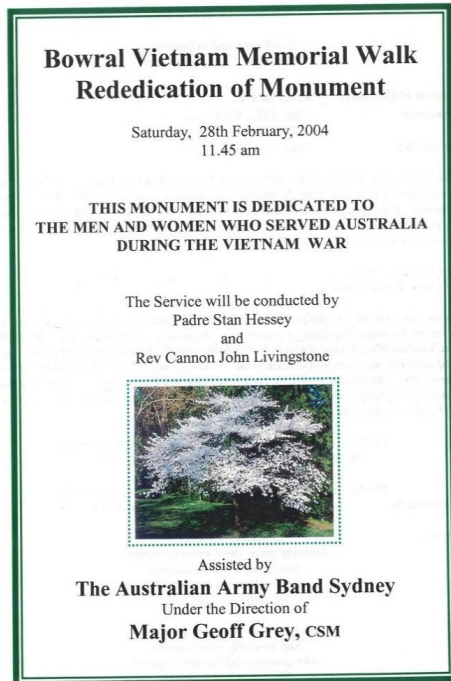


Figure 16. Figure 18. Cover of Order of Ceremony – Rededication of Monument 28 Feb 2004 (Southern Highlands Vietnam Veterans Peacemakers and Peacekeepers Association)



Figure 17. Effie Kerr OAM with General Cosgrove MC (Blake)

## 5. Physical Evidence

The Vietnam War Memorial Cherry Tree Walk commences at Mittagong Road in Settlers Park and continues for approximately 1.3 kilometres ending at Boolwey Street. The war memorial is a landscape memorial comprised of different elements. The memorial walk is lined with Taihaku 'great white' cherry trees (*Prunus x serrulata* 'Tai Haku'). Documents show that the number of cherry trees to be planted was to be equal to the number who died in Vietnam. During the development of the Cherry Tree Walk the proposed number of trees started at 500, then was altered to 504 or 506. The number of Australian war dead according to the National War Memorial is 523<sup>15</sup>. The existing number of trees in the Cherry Tree Walk between Mittagong Road and Bowley Street is 307.

The pathway travels through several parks and reserves which were existing at the commencement of the first tree plantings. Some existing features of the parks were incorporated into the final design. For example, the Casuarina trees in Settlers Park were well established when the memorial was initiated and were incorporated into the final design.

<sup>15</sup> According to the Australian War Memorial 523 Australians were killed between 3/8/1962 and 29/4/1975 in the Vietnam War. [https://www.awm.gov.au/articles/encyclopedia/war\\_casualties](https://www.awm.gov.au/articles/encyclopedia/war_casualties)

### 5.1. The Monument

The Monument is based upon a circular mound, a highly symbolic element which can be found in numerous other war memorials.<sup>16</sup> There are four polished black granite monoliths engraved with all the names of the Australian Vietnam War dead set in a semicircular garden bed with a backdrop of four Taihaku cherry trees. Each monolith is constructed of a concrete slab on which the granite slabs are fixed. Each pair of monoliths rests on a single concrete footing which is pierced down to bedrock with concrete piers. A fifth granite monolith, also constructed of reinforced concrete with a concrete footing pierced to bedrock and faced with polished black granite is a dedication monolith with a splayed base against which wreaths are laid. The dedication monolith is situated inside the circle atop the mound.

The Monument is a formal symbolic space within the cultural landscape of the War Memorial. Despite its formality it has been designed to appear as another feature within the landscape character of the memorial. This has been achieved by laying grass on the centre of the mound so that it flows into the surrounding landscape. The semicircular garden bed is designed as a living wreath with soft land scaping around the Taihaku cherries which have been chosen as smaller trees that have not been grown as standards like those along the walk.

Another feature of the monument design is the Casuarina Trees which were intended to represent Australian landscape. This juxtaposition of the Australian trees and Asian species of cherry tree is also intended to be symbolic.



Figure 18. View of the monument from the side rear

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<sup>16</sup> Ken Inglis describes the Shrine of Remembrance in Melbourne as “rising from a mound in the Domain” - holy ground based on ancient forms. (Inglis, 2008)





Figure 19. Front view of the Monument



Figure 20. Avenue of River Oaks (*Casuarina cunninghamiana*)



Figure 21. The River Oaks have grown considerably since the monument was built

The River Oaks were existing when the monument was built and were incorporated into its design. There are two avenues of trees comprising a total of 34 River Oaks.

### 5.2. Cherry Tree Walk

A qualified arborist (Paul Vezgoff, Moore Trees) has made a survey and assessment of the trees in the Vietnam War Memorial Cherry Tree Walk, see Attachment 1 for the full report. The arborist has made the following conclusion regarding the condition of the existing trees.

*There are 307 Japanese Flowering Cherry Trees (Prunus serrulata 'Tai-Haku') on the walk of which 84 (27%) are dead. The condition of the trees varies greatly. Original plantings were obvious by their size as were the replacement plantings that exist along the entire study area. Most of the site trees have been mulched with a ring of mulch extending not further than 500mm for most trees. The mulch was mounded above 100mm in depth.*

There are 2 Sawtooth Oak Trees (*Quercus acutissima*), 1 English Oak (*Quercus robur*) and 34 River Oak (*Casuarina cunninghamiana*) within the study area.

The following photographs were taken by Louise Thom on 29 January, 13 October, 16 November and 11 December 2023.



Figure 22. Entrance to Bowral Vietnam War Memorial Cherry Tree Walk from Mittagong Street

The following photographs are in order starting from Boolwey Street and proceeding towards Mittagong Road.

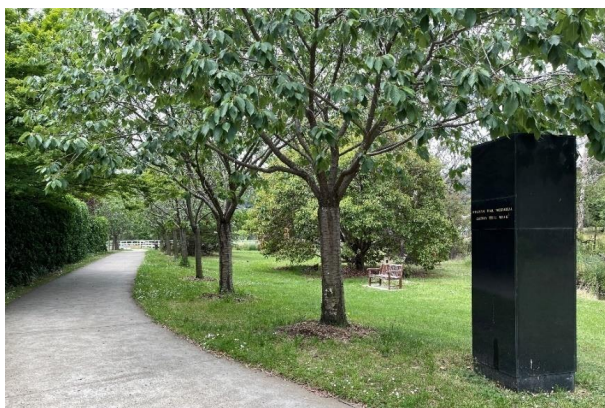


Figure 23. View A - Boolwey Street entrance to Cherry Tree Walk





Figure 24. View B - Looking back from Shepherd Street to Boolwey Street

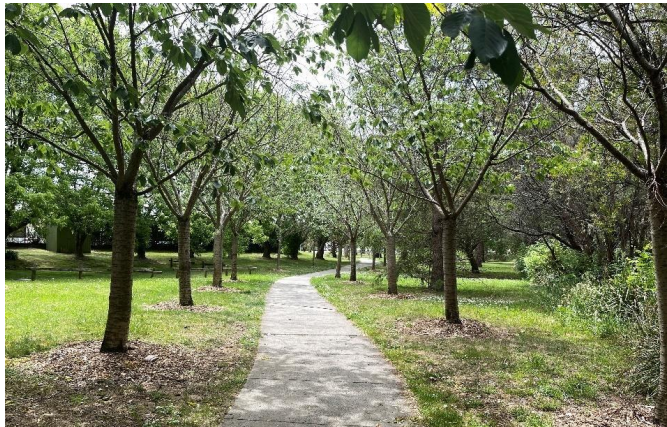


Figure 25. View C - The walk looking north as it passes Bowral Bowling Club



Figure 26. From Venables Park looking across Merrigang Street

Louise Thom Heritage

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Figure 27. View D - From Jasmine Street looking north



Figure 28. Between Jasmine and Banksia Streets





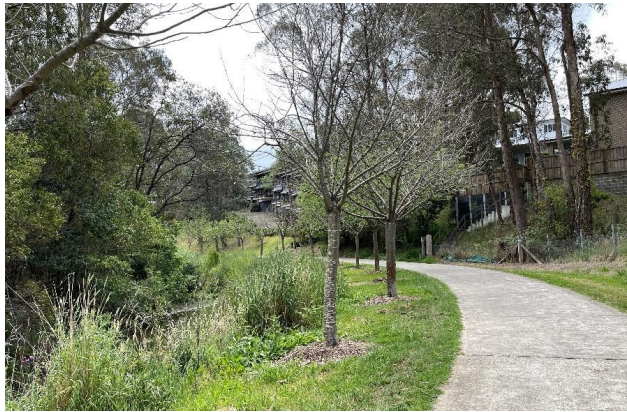
Figure 29. Looking north towards the Rose Street bridge



Figure 30. Looking north towards Victoria Street footbridge.



*Figure 31. There is a short section north of the Victoria Street footbridge that has no Cherry Trees*



*Figure 32. The Cherry Tree planting begins again at the curve as the path heads west to the ceremonial area*



*Figure 33. As the path leads west it is bordered by residential properties some of which have direct access onto the Cherry Tree Walk*





Figure 34. At Rivulet Park there is an open area ringed by cherry trees in the centre is a small monument to the 8RAR

### 5.3. Other elements within the curtilage

#### 8RAR Monument and ceremonial area



Figure 35. Memorial to 8 Royal Australian Regiment  
Vietnam War Memorial

The 8RAR Memorial is a brick structure mounted on a concrete pad on a brick sub-base. It is faced with black granite and has a sloping black granite top. A plaque is mounted to the northern side and another plaque listing all the 8RAR service personnel who died in Malaysia or Vietnam is mounted on top.

#### Pergola

The pergola (Rotary peace pavilion) is constructed of treated pine timber. It is constructed in an arc with the outer side facing the creek and the inner side to the monument. It is supported on cylindrical poles embedded directly into the ground. Double rafters span between each pole and between rows of battens span the rafters. The structure is open without any cladding to the sides or the roof. At either end of the pergola the rafters and battens form a pyramidal termination.

Underneath the pergola there are five ornamental masonry seats and several surviving '4<sup>th</sup> of July' climbing roses.



*Figure 36. Close view of seat under the pergola*



*Figure 37. The pergola showing seats and 4th of July climbing roses.*

*Plaque to Effie Kerr OAM*

A small understated plaque dedicated to Effie Kerr OAM has been erected on a stone beneath a Cherry Tree.



*Figure 38. Plaque to Effie Kerr OAM commemorating her work to establish the memorial*



#### 5.4. Modifications



Figure 39. The monument after modification works.

In 2021 members of the Southern Highlands Vietnam Veterans Association met with Council staff to discuss their concerns regarding the monument. They were concerned that garden beds were overgrown, and three of the four Cherry Trees had died and the evidence of flooding could still be seen at the monument. They put forward proposals to address these issues and applied to Department of Veterans Affairs (DVA) for funding. A grant of \$61,000 was received from the DVA in February 2022 to prepare a CMP and for minor landscaping works prior to the commemoration of the 50th Anniversary of the end of the Vietnam War.

At this stage no consultation had been undertaken with other veterans with an interest in the monument. Several months of negotiations between parties led to an unresolved conflict regarding the work. The project brief was revised and the following works were undertaken by Wingecarribee Shire Council.<sup>17</sup>

*The work completed by Council is detailed below:*

1. *Retain the one surviving cherry tree on the memorial (monument) site.*
2. *Provide three new cherry trees to replace the three failed (dead) cherry trees.*
3. *Remove existing vegetation and soil within the inner and outer circles and replace with new soil.*
4. *Install sub-surface drainage within the inner and outer circles on the southern side of the monument area.*
5. *Construct a concealed concrete cut-off wall of variable height to a maximum of 400 mm on the alignment of the outer circle's southern quadrant to protect against flooding.*
6. *Repairs to the inner and outer circle edging by reusing existing pavers laid vertically (as originally placed), including making the inner and outer edges align horizontally and vertically as concentric circles.*

<sup>17</sup> The description of modifications was supplied by Ray McCann.

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### Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

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7. Provision of new mulch within the inner and outer circles.
8. Uplifting of selected casuarina trees to allow in more light.
9. Provision of new park seat.
10. Maintenance work, including repainting, of the nearby Peace Pavilion.



Figure 40. Photo during the modification works 13/07/2023. (McCann, 2023)



Figure 41. Photo taken during the modification works 13/07/2023 (McCann, 2023)



Figure 42. The seat installed during the modifications. There was previously another seat in this location—when it was installed and when it was removed is not known. see Figure 16.

Some veterans are concerned that this work was undertaken within a consecrated area and that the monument therefore needs to be rededicated. Whether or not the monument should be rededicated is something veteran user groups need to decide amongst themselves.

The work undertaken by Wingecarribee Shire Council does not fall into the description under the *Summary Offences Act 1988* where wilfully damaging or defacing a memorial is an offence.

Council has commissioned a drawing showing the monument as it is existing. It was not prepared at the time of this report but when it is finalised it will be included as attachment 4.

#### *Mittagong Creek*

Mittagong Creek, Bowral is also referred to as Mittagong Rivulet. The section of Mittagong Rivulet which lies alongside the Vietnam War Memorial Cherry Tree Walk runs east from Mittagong Road and south to Boolwey Street. The rivulet continues to the west and to the south but these parts of the creek are outside the study area of this CMP. Mittagong Rivulet is included in the curtilage of the Memorial.



Figure 43. The monument as existing 20 March 2024. (Tooth G. , 2024)





Figure 44. The garden bed around the monument as existing 20 March 2024 (Tooth G. , 2024)

## 6. Comparative Assessment

### 6.1. Other Cherry Tree avenues of honour

The website <https://avenuesofhonour.org/> has recorded 474 avenues of honour in Australia. These avenues and groves of trees were planted as landscape memorials. Of these 105 are actual avenues of trees whereas 300 are groves of trees and 148 are lone pines.

There is another avenue of Cherry Trees in NSW. Located in Cowra it is an avenue of approximately 450 Japanese cherry trees (*Prunus x serrulata* cv.) planted on both sides of the Boorowa and Grenfell Roads. Planted in 1988, as a bicentennial project, Cowra Shire Council planted 1988 cherry blossom trees between the Cowra War Cemetery, the site of the Prisoner Of War Camp, and the Japanese Gardens as a sign of peace and reconciliation with the Japanese people.

Visit Cowra website states:

*A highlight of spring for locals and visitors alike is a drive from the Cowra Japanese Garden up Sakura Avenue, or Avenue of Cherry Trees. Brilliant blossoms line the way along the Avenue, which links the Japanese Garden with the site of the POW Camp and continues on to the Australian and Japanese War Cemeteries. Each tree is sponsored by Japanese businesses and citizens as well as Australian school children.*

In 2010 it was reported that many cherries have died and are being replaced with flowering crab apples (*Malus floribunda* cv.).

### 6.2. Other Vietnam War Memorial Avenues of Honour

*Vietnam Memorial Wall, Memorial Grove and Commemorative Walk, Seymour, Victoria.*

*The commemorative project, commencing in earnest in 2012, was undertaken in a series of stages. From design and construction, development of an interpretive centre, the meandering walk set amongst native trees and the focal piece – a winding wall of DigiGlass panels with photographic underlays, depict the story of the Vietnam conflict. The panels list over 60,000 names of every serviceman and servicewoman, in alphabetical order. Homage is also paid to several tracker dogs, vital to Australia's service during the Vietnam campaign.*

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*The use of trees serving as a landscape tribute to represent the vegetation in Vietnam and also as a reminder of Australia's homeland vegetation, is no accident. They include Spotted Gums (*Corymbia maculata*), arranged in plantation style, to resemble rubber trees. Tussock grasses were planted in neat beds, to simulate rice paddies.*

*In 2014, young Queensland Bottle Trees (*Brachychiton rupestris*) were planted along the High Street verge to form a vanguard avenue. (Avenues of Honour, n.d.)*



Figure 45. Vietnam Memorial Wall, Memorial Grove and Commemorative Walk, Seymour, Victoria. (Avenues of Honour, n.d.)

*Vietnam Veterans Avenue of Honour, Geelong, Victoria*

The official opening of the Avenue of Honour took place on 1 October 1995. The avenue of trees flank a pathway which runs alongside the Princes Highway in North Geelong. It commences in a park where a memorial and flagpoles are located. Along the pathway are interpretive panels about the Vietnam War.



Figure 46. Vietnam Veterans Avenue of Honour Geelong, Victoria (Avenues of Honour, n.d.)



Figure 47. One of the interpretive plaques along the walk (Avenues of Honour, n.d.)

*Vietnam Memorial Avenue of Honour, Bandiana, Victoria*

*The Vietnam Memorial Avenue of Honour, along the Murray Valley Highway adjacent the Army Barracks at Bandiana, was created to commemorate those who served, suffered and sacrificed during the Vietnam conflict (1962 – 1975\*). (Avenues of Honour, n.d.)*

The Vietnam Memorial Avenue of Honour, was opened on November 11th 1991. The memorial consists of an avenue of Pin Oaks (*Quercus palustris*) lining the verges and the median strip of the divided highway.



Figure 48. Vietnam Memorial Avenue of Honour, Bandiana, Victoria (Avenues of Honour, n.d.)

**6.3. Other Vietnam War Memorials in park settings**

The following are some examples of other Vietnam War Memorials:

- Newcastle Civic Park Vietnam and National Service Memorials are located in a park and comprise two memorials in close proximity.
- Broken Hill Vietnam Veterans Memorial is located in Broken Hill War Memorial Reserve. It is comprised of a wall and a cross with plaques.
- Wollongong Vietnam War Memorial is a large sculptural monument within the park on Flagstaff Hill. It records many names, possibly all those who died in the Vietnam conflict.
- Wagga Wagga Vietnam War Memorial is a small monolith in a park setting. There are also three tablets set into the ground.

## 7. Social Value

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During preparation of this document consultation with individuals and the broader community was undertaken. Full details of consultation are included in Appendix 3.

Consultation with Vietnam Veterans helped to shape the statement of significance. Individuals also contributed feedback on the draft CMP.

A page on Participate Wingecarribee with a survey ran for three weeks in February 2024.



## **AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024**

Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

Two key questions were asked. Word clouds were extrapolated from the data to show a graphic representation of the answers to the questions. The more often a word was repeated the larger the text appears in the image.

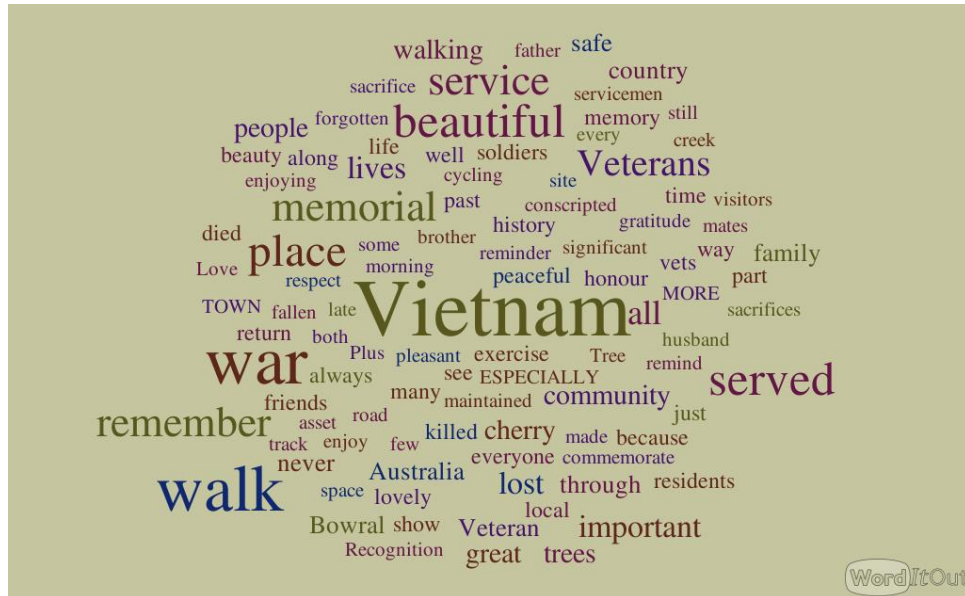


Figure 49. Graphic representation of answers to the question "Why is the Vietnam War Memorial Cherry Tree Walk important to you?"



Figure 50. Graphic representation of answers to the question “What do you like most about the Cherry Tree Walk?”

## 8. Significance Assessment

### 8.1. Significance Assessment Criteria

The following criteria are used in the assessment of cultural heritage significance. These criteria are the standard criteria for use in NSW that have been prepared by Heritage NSW, Department of Planning and Environment. These criteria are recognised by State and local government when making assessments for statutory heritage schedules and registers. The place does not need to meet all criteria in order to be considered significant.

For a place to be deemed to be significant it must meet at least one of the following criteria:

- a) an item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area);
- b) an item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area);
- c) an item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area);
- d) an item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons;
- e) an item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area);
- f) an item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area);
- g) an item is important in demonstrating the principal characteristics of a class of NSW's - cultural or natural places; or - cultural or natural environments. (Or a class of the local area's cultural or natural places; or - cultural or natural environments).

### 8.2. Application of Significance Assessment Criteria

- a) *an item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area);*

The memorial has historical significance as it provides evidence of the Australian involvement in Vietnam War between 1962 and 1975. The monument is historically significant as a record of every Australian who died in the Vietnam conflict. The Taihaku 'great white' cherry tree has historic value as a cherry tree once common in Japan that became extinct in its native land until it was reintroduced by English cherry collector Collingwood Ingram. Effie Kerr OAM believed there was a parallel between the history of the Taihaku to that of the Vietnamese war veteran who'd been historically ignored in Australia to such an extent that they were also in danger of becoming extinct.

- b) *an item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area);*

The memorial has historical association with Effie Kerr OAM a highly respected and driven person without whom the memorial would not have become a reality. Effie's legacy also represents the history of the Vietnam War in Australia as she initially protested against the Vietnam War and then later dedicated herself to ensuring respect and recognition was given to the service and sacrifice of those who served. The memorial is also historically associated

with the Bowral Parks and Gardens Advisory Committee and founders of the Bowral Vietnam Memorial Trust which included the late Kevin Gallagher, landscape architect who put Effie's and the Trusts' ideas into practice. The memorial is associated with numerous Veterans and individuals who volunteered their time and resources. The memorial is associated with Vietnam Veterans Day commemorations which occur at the memorial on an annual basis.

- c) *an item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area);*

The Cherry Tree Walk has aesthetic significance – it is a place of seasonal beauty and inspiration, reflection and contemplation. The walk runs alongside the meandering Mittagong Rivulet passing through areas of open parkland which add to its scenic value. The memorial has aesthetic significance as a rare 1.3 km Taihaku cherry tree avenue of honour. The monument was designed as a monument in a parkland setting, not an urban environment. In the architect's words: the design utilises "timeless landform imagery: - the circle, the sacred grove of trees, a ring of monoliths, the earthen mound. . ." The design of the monument is aesthetically significant due to the combination of symbolic elements – the circular mound, four monoliths inscribed with the names of the fallen in a garden bed with four Taihaku cherry trees that forms a living wreath flanking a central dedication monolith. The symbolic elements within their spatial arrangement form a dedicated sacred space within which wreaths and tributes are laid. The central mound is grassed, linking the monument with the surrounding lawn and emphasising the 'environmental' landscape character of the memorial. Integral to the design of the monument is a grove of Australian Casuarina trees which provide a juxtaposition with the Asian cherry trees. The location following alongside Mittagong Rivulet and traversing several public parks is essential to the setting of the memorial.

- d) *an item has strong or special association with a particular community or cultural group in in NSW (or the local area) for social, cultural or spiritual reasons;*

The Vietnam War Memorial Cherry Tree Walk is of high social value. The memorial is dedicated to the Australian men and women who served during the Vietnam War. The monument holds the names of all the Australians who died in the Vietnam conflict whilst the cherry trees represent life lost in the war. The monument has special significance as a 'surrogate grave' as it records every Australian life lost in the conflict and is imbued with meaning as a sacred space. The memorial has special meaning for relatives and friends of the fallen and the veterans who remain.

The Vietnam War Memorial has spiritual significance as a place of commemoration and ritual occurring in a ceremonial consecrated space. The memorial follows the tradition of the sacred plantings of trees, particularly in memorial avenues, as a continuation of life and remembrance. The ceremonial space and the monument are significant symbolic spaces associated with annual ceremonies and commemorations of the fallen and the veterans of the Vietnam War. The memorial serves an important purpose for Veterans as a designated place to reflect on their service and to honour and value their fallen mates. The memorial is a point of focus for residents and visitors to remember those that paid the ultimate sacrifice, it is considered to be an important place to show respect and gratitude for their service in



light of how poorly Vietnam service men and women were treated on their return to Australia.

The memorial has social significance for veterans in USA and Canada who served with Australian service personnel and demonstrated their support for the memorial in 2006 when it was perceived to be under threat when the Mittagong Creek Reserve Plan of Management was being prepared.

The walk has significance to the Wingecarribee community who value it as recreational resource and for its contribution to the sense of place of the locality.

- e) *an item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area);*

This criterion refers to the research potential of a place and is generally associated with archaeological potential. The Vietnam War Memorial Cherry Tree Walk does not meet this criterion.

- f) *an item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area);*

The memorial has rarity value. Whilst there are other cherry tree avenues of honour such as the one in Cowra, the Bowral Vietnam War Memorial avenue of honour is believed to be the only Taihaku avenue in Australia. The memorial is one of only a few Vietnam War Memorials that carries the names of all those who died in the conflict. It is the only Vietnam War Memorial avenue of honour in the southern highlands and a rare example of a Vietnam War Memorial avenue of honour in NSW.

- g) *an item is important in demonstrating the principal characteristics of a class of NSW's - cultural or natural places; or - cultural or natural environments. (Or a class of the local area's cultural or natural places; or - cultural or natural environments).*

The memorial is representative of the need for Australian communities to respect, remember and commemorate the fallen. The memorial has representative value as an example of Vietnam War Memorials in Australia and their symbolic representation of the sacrifice made by those who fought in the war. The memorial is an excellent example of a landscape memorial.

### 8.3. Summary Statement of Significance

The Vietnam War Memorial Cherry Tree Walk is a memorial landscape that encompasses a 1.3 km walk lined with Taihaku Cherry Trees, a dedicated and consecrated ceremonial area and a monument to Australian men and women who died in the Vietnam War. All these elements are part of the memorial as a whole and each is essential to its significance.

The Vietnam War Memorial Cherry Tree Walk is of high social value. The memorial is dedicated to the Australian men and women who served during the Vietnam War. The monument holds the names of all the Australians who died in the Vietnam conflict whilst the cherry trees represent life lost in the war. The monument has special significance as a 'surrogate grave' as it records every Australian life lost in the conflict and is imbued with meaning as a sacred space. The memorial has special meaning for relatives and friends of the fallen and the veterans who remain.

The Cherry Tree Walk has aesthetic significance – it is a place of seasonal beauty and inspiration, reflection and contemplation. The walk runs alongside the meandering Mittagong Rivulet passing through areas of open parkland which add to its scenic value. The memorial has aesthetic significance as a rare 1.3 km Taihaku cherry tree avenue of honour.

The Vietnam War Memorial has spiritual significance as a place of commemoration and ritual occurring in a ceremonial consecrated space. The memorial follows the tradition of the sacred plantings of trees, particularly in memorial avenues, as a continuation of life and remembrance. The ceremonial space and the monument are significant symbolic spaces associated with annual ceremonies and commemorations of the fallen and the veterans of the Vietnam War. The memorial serves an important purpose for Veterans as a designated place to reflect on their service and to honour and value their fallen mates. The memorial is a point of focus for residents and visitors to remember those that paid the ultimate sacrifice, it is considered to be an important place to show respect and gratitude for their service in light of how poorly Vietnam service men and women were treated on their return to Australia.

The monument was designed as a monument in a parkland setting, not an urban environment. In the architect's words: the design utilises "timeless landform imagery: - the circle, the sacred grove of trees, a ring of monoliths, the earthen mound. . ." The design of the monument is aesthetically significant due to the combination of symbolic elements – the circular mound, four monoliths inscribed with the names of the fallen in a garden bed with four Taihaku cherry trees that forms a living wreath flanking a central dedication monolith. The symbolic elements within their spatial arrangement form a dedicated sacred space within which wreaths and tributes are laid. The central mound is grassed, linking the monument with the surrounding lawn and emphasising the 'environmental' landscape character of the memorial. Integral to the design of the monument is a grove of Australian Casuarina trees which provide a juxtaposition with the Asian cherry trees. The location following alongside Mittagong Rivulet and traversing several public parks is essential to the setting of the memorial.

The ceremonial space is a dedicated area that was consecrated by a member of the clergy during the opening ceremonies in 1999 and 2004.

The memorial has historical significance as it provides evidence of the Australian involvement in Vietnam War between 1962 and 1975.

The memorial has historical association with Effie Kerr OAM a highly respected and driven person without whom the memorial would not have become a reality. Effie's legacy also represents the history of the Vietnam War in Australia as she initially protested against the Vietnam War and then later dedicated herself to ensuring respect and recognition was given to the service and sacrifice of those who served. The memorial is also historically associated with the Bowral Parks and Gardens Advisory Committee and founders of the Bowral Vietnam Memorial Walk Trust which included the late Kevin Gallagher, landscape architect who helped to visualise Effie's and the Trusts' ideas. The memorial is associated with numerous Veterans and individuals who volunteered their time and resources. The memorial is associated with Vietnam Veterans Day commemorations which occur at the memorial on an annual basis.

The Taihaku 'great white' cherry tree has historic value as a cherry tree once common in Japan that became extinct in its native land until it was reintroduced by English cherry collector Collingwood Ingram. Effie Kerr OAM believed there was a parallel between the history of the Taihaku to that of

the Vietnamese war veteran who’d been historically ignored in Australia to such an extent that they were also in danger of becoming extinct.

The memorial has rarity value. Whilst there are other cherry tree avenues of honour such as the one in Cowra, the Bowral Vietnam War Memorial avenue of honour is believed to be the only Taihaku avenue in Australia and the only avenue of cherry trees that form a Vietnam War Memorial avenue of honour. The memorial is one of only a few Vietnam War Memorials that carries the names of all those who died in the conflict. It is the only Vietnam War Memorial avenue of honour in the southern highlands and a rare example of a Vietnam War Memorial avenue of honour in NSW.

The Vietnam War Memorial has aesthetic value as an excellent example of an environmental landscape memorial that features an avenue of honour, a commemorative area and a dedicated monument within a circle and a grove of trees.

The memorial has social significance for veterans in USA and Canada who served with Australian service personnel and demonstrated their support for the memorial in 2006 when it was perceived to be under threat when the Mittagong Creek Reserve Plan of Management was being prepared.

The walk has significance to the Wingecarribee community who value it as recreational resource and for its contribution to the sense of place of the locality.

The memorial is representative of the need for Australian communities to respect, remember and commemorate the fallen. The memorial has representative value as an example of Vietnam War Memorials in Australia and their symbolic representation of the sacrifice made by those who fought in the war.

9. Grading of Significance

The following gradings of significance provide a guide for analysing gradings of significance for each individual element or a place or object. (Department of Planning and Environment, 2023)

Exceptional – Rare or outstanding element directly contributing to a place or object’s significance.

Considerable (High) – High degree of original fabric. Demonstrates a key element of the place or object’s significance. Alterations do not detract from its significance.

Moderate – Altered or modified elements. Elements with low heritage value, but which contribute to the overall significance of the place or object.

Little – Alterations detract from its significance. Difficult to interpret.

Intrusive – Damaging to the place or object’s significance.

Table 2. Grading of significance

Element or Space	Grading	Tolerance for change
Vietnam War Memorial Cherry Tree Walk within its curtilage	Exceptional	None. The design and layout are integral to its significance.
Cherry Tree Walk – The tree lined walkway from Mittagong Road through to Boolway Street.	High	Replacement of dead or damaged trees. Repair to pathway

# AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

## Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

Element or Space	Grading	Tolerance for change
Each of the 307 Taihaku Cherry Trees standards	High	The older healthier trees are of high value. Dead or dying trees are of less value and should be replaced with the same species and specifications.
Dedicated area	High	The ceremonial space has no tolerance for change.
Monument	High	The monument has no tolerance for change except for maintenance.
Garden bed around base of monoliths	High	The garden bed should be planted with prostrate Rosemary
4 Taihaku Cherry Trees (non-standard) at monument	High	The trees should not be pruned for aesthetic reasons. The trees should only be pruned for health reasons as specified by an arborist.
Grove of River Oaks (Casuarina cunninghamiana)	High	These trees are part of the memorial and should not be pruned except for the health of the tree or to prevent damage to the monument. All pruning must be undertaken by a qualified arborist.
Pergola	High	The pavilion contributes to significance but could be rebuilt or repaired by replacement of elements in the same configuration without impacting significance. The location of the pergola is important as it defines the southern edge of the dedicated area.
Seats in pergola	Moderate	The pergola is intended to be a place of contemplation. Providing seating contributes to this function. The existing seats are out of character with the memorial and in poor condition. Existing seating could be upgraded with more appropriate seating in the same location. The footings of seats should not be visible above ground.
4 <sup>th</sup> of July Roses in pergola	High	Contributes meaning to the memorial. Need to be maintained and weeded.
Other plants at the pergola	Low	Other appropriate climbing plants could be grown over the pergola
Entry Monoliths at Mittagong Road	High	Maintain

Element or Space	Grading	Tolerance for change
Entry Monolith at Boolway Street	High	Maintain
8RAR Monument and ceremonial area	Moderate/High	This memorial has moderate significance relative to the Vietnam War Memorial Cherry Tree Walk. It has high significance in its own right. There is no tolerance for change other than maintenance.
Circle of trees around the 8RAR Monument	High	The older healthier trees are of high value. Dead or dying trees are of less value and can be replaced with the same species and specifications.
2 Sawtooth Oaks ( <i>Quercus acutissima</i> ) and 1 English Oak ( <i>Quercus robur</i> )	Moderate	Not part of the original design but they have high amenity value.
Seat adjacent to monument	Low	Within the dedicated area of the monument. Can be removed. The seat is on a heavy concrete foundation which is out of character with the landscape memorial. Any foundation for seating should not be visible above the ground.
Pedestrian Bridge over Mittagong Rivulet	Low	Not within the memorial curtilage

## 10. Curtilage and setting

... the term “heritage curtilage” means the area of land (including land covered by water) surrounding an item or area of heritage significance which is essential for retaining and interpreting its significance. (Heritage Office of NSW, 1996)

The definition is not referring to a statutory heritage listing, it can be applied to any area of heritage significance. In the case of the Vietnam War Memorial Cherry Tree Walk this CMP has assessed its heritage value against the NSW Heritage criteria and determined that the memorial has heritage significance.

### 10.1. Curtilage Description

The curtilage for the memorial should be taken as follows:

- i) The boundary of the Cherry Tree Walk shall be 4.8 metres from the centre line of the pathway in either direction.<sup>18</sup>
- ii) The boundary shall also include Mittagong Rivulet;
- iii) The boundary will encompass the area around the 8RAR Monument including the Rivulet and 4.8 metres from the centre of the path to the north. The boundary will have a minimum 2 metre radial clearance around each Cherry Tree.

<sup>18</sup> This has been specified by the arborist. See Attachment 1.

- iv) At the northern end of the memorial the southern boundary will include Mittagong Rivulet and shall include the dedicated area with the northern boundary 4.8 metres from the centre line of the path.
- v) The branching pathway from the car park shall be included within the curtilage with the boundary being 4.8 metres from the centre line of the path.

#### 10.2. Setting

##### *Immediate setting*

The defining environmental features in the setting of the memorial are Mittagong Rivulet and the parkland setting. The Cherry Tree Walk follows the rivulet winding its way through parklands that widen and narrow providing focussed and expansive views. At the dedicated area the park widens and encompasses the monument, the Casuarina Avenue and the ceremonial area.

Designed as an environmental memorial the Vietnam War Memorial Cherry Tree Walk is integrated with its setting. It is not an urban memorial it is a war memorial landscape.

##### *Wider Setting*

The memorial is located in a series of parks: Rivulet Park, Foley Park, Venables Park, Settlers Park which contribute to the landscape setting of the memorial. Beyond this the memorial is in a culturally significant heritage area which has older buildings with developed gardens and mature trees with Mount Gibraltar as a defining feature.

*In addition to the historical attributes the precincts in the Area, possess significant streetscapes which, considered as a whole, reveal the harmonious townscape character which is highly valued by the local community and visitors alike. (Bowral HCA)*

##### *The Dedicated Area*

This drawing shown in Figure 48 shows the dedicated area after the dedication of the monument in 1999. The sketch made by Kevin Gallagher for the Vietnam War Memorial Trust is dated March 2000. The sketch shows paths to the pergola that were never built and the pergola which was built in 2000. Although the note on the drawing states: *Pergola is part of the dedicated area described by the pathways*, the pergola was not built when the area around the monument was dedicated in 1999 and the pathways to the pergola have never been built. For the purpose of this CMP the dedicated area is assumed to be from the edge of the pergola as originally specified (See section 4.7). Further consultation and research may lead to a different conclusion.



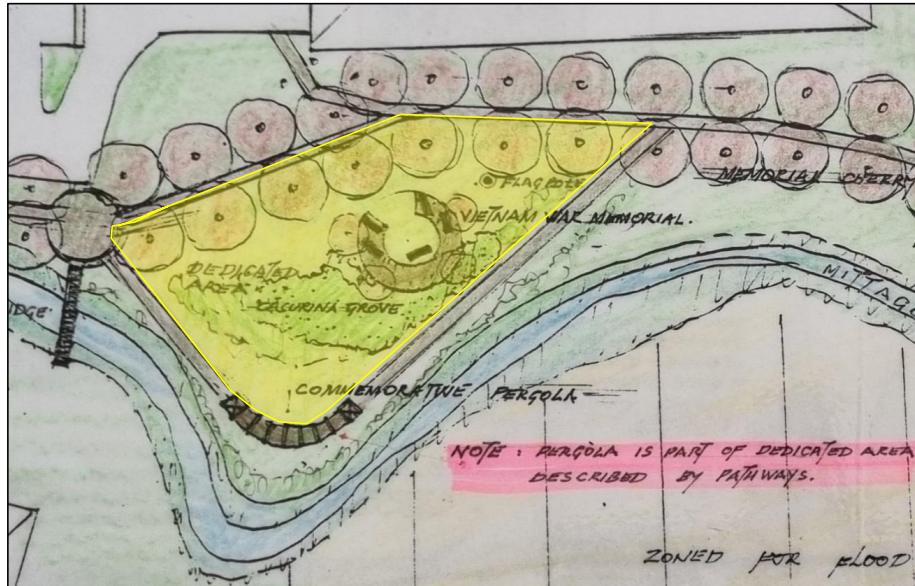


Figure 51. The dedicated area shaded yellow by LTH, original drawing by Kevin Gallagher & Associates for Vietnam War Memorial Trust Titled: General Layout Stage 1 Drawing No. SK28 Prelim Sketch dated March 2000. (Wingecarribee Shire Council, 1996-2005)

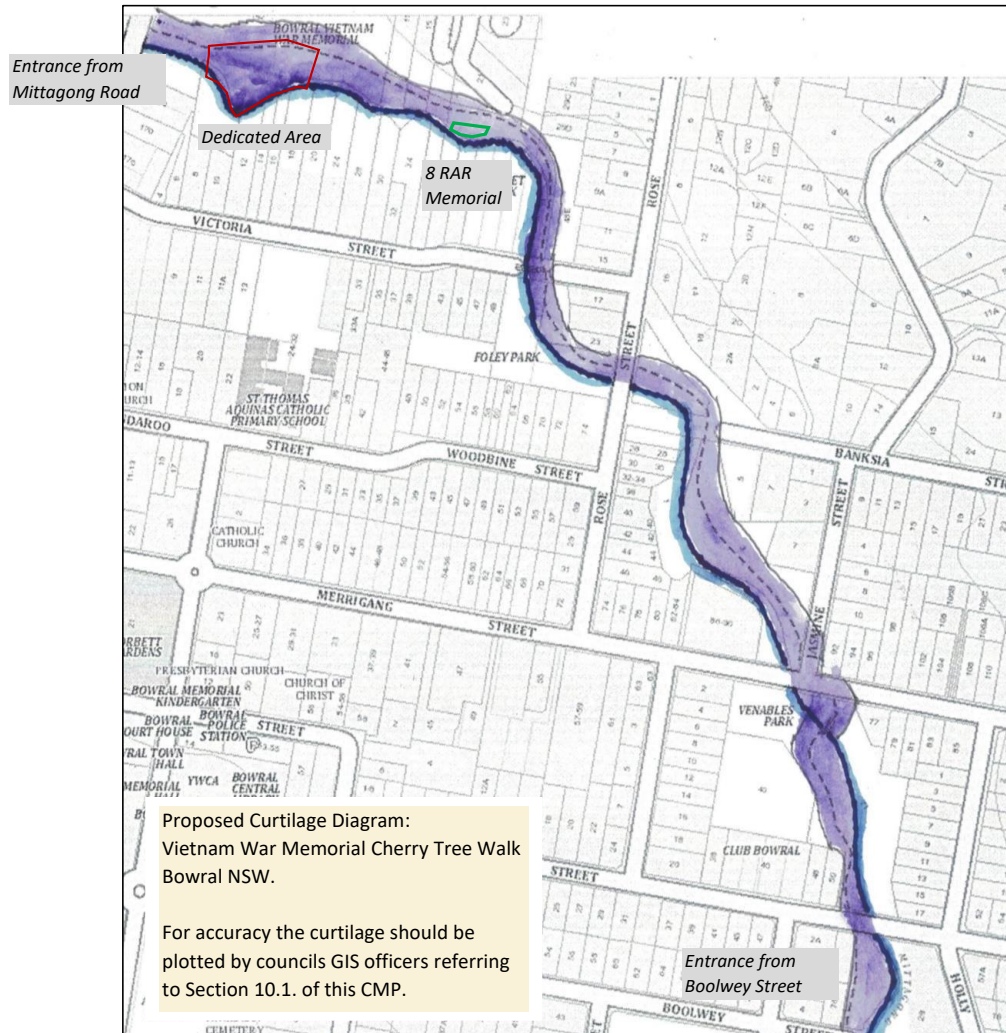


Figure 52. Roughly drawn sketch of recommended curtilage does not follow lot boundaries. This map is indicative only. For a clearer image of the dedicated area see Figure 51.

## 11. Constraints and Opportunities

### 11.1. Factors arising from significance

The Vietnam War Memorial Cherry Tree Walk has heritage significance at a local level and possibly at a State level. The significance of the memorial is such that it has very little tolerance for change apart from maintenance.

### 11.2. Owners/managers needs and aspirations

Wingecarribee Shire Council has inherited a legacy of high significance that also has high maintenance requirements.

This CMP shows that the Vietnam War Memorial Cherry Tree Walk is highly valued by the community and there are high expectations from the community that the memorial will be conserved and maintained.

A major challenge faced by the Council is the ongoing survival and health of the Taihaku Cherry Trees. The trees need to be actively managed with a succession plan along with tree plotting and a maintenance program and education for staff in the care of these trees. Appropriated budget needs to be provided to achieve this forward planning.

Existing practices that affect the significance of the memorial need to cease such as the under pruning of the Casuarina trees. See the policy section for more detail.

Maintenance of Mittagong Rivulet is another maintenance issue. The memorial is located in a riverine environment. Flooding will occur and clean up after floods will be required. The monument will need to be cleaned according to the conservators recommendations. Trees may be affected and the garden bed will need weeding and debris removed.

### 11.3. Legal and statutory obligations

#### *Wingecarribee Local Environmental Plan 2010*

The land is zoned RE1 Public Recreation the objectives of the zone are to

- *To enable land to be used for public open space or recreational purposes.*
- *To provide a range of recreational settings and activities and compatible land uses.*
- *To protect and enhance the natural environment for recreational purposes.*
- *To enable ancillary development that will encourage the enjoyment of land zoned for open space.*

One of the activities allowed without consent is environmental protection works. This has the potential to cause conflict between management of the riverine landscape and management of the Cherry Tree walk as has happened previously.

#### *Water Management Act 2000*

*Controlled activities carried out in, on or under waterfront land are regulated by the Water Management Act 2000 (WM Act). The NSW Office of Water administers the WM Act and is required to assess the impact of any proposed controlled activity to ensure that no more than minimal harm will be done to waterfront land as a consequence of carrying out the controlled activity. Waterfront land includes the bed and bank of any river, lake or estuary and all land within 40 metres of the highest bank of the river, lake or estuary. This means that a controlled activity approval must be obtained from the Office of Water before commencing the controlled activity. (Department of Primary Industries, Office of Water, 2012)*

#### *WSC Cenotaphs and War Memorial (Protected Places) Security and Protection Policy, Adopted 27 July 2016*

The objectives of this policy are:

- *to avoid the placement of objects or signage within the curtilage of War Memorials and Cenotaphs that will obscure or obstruct their viewing, context or meaning.*
- *To avoid any use, development or activity that restricts access to or pedestrian circulation around War Memorials and Cenotaphs*

- *To avoid any activity or actions that detract or damage any part of War Memorials and Cenotaphs and that do not show respect for what they represent to the wider Wingecarribee Community and Returned Service personnel in particular.*

Vietnam War Memorial Cherry Tree Walk is covered by this policy. For the purpose of the policy the curtilage is defined as a distance of 2 metres from the edge of the memorial. The Vietnam War Memorial Cherry Tree Walk has a wider curtilage than this see section 10.1.

*Summary Offences Act 1988*

Division 1 Offensive behaviour

**8 Damaging or desecrating protected places**

**(1) In this section—**

*interment site has the meaning it has in Part 4 of the Cemeteries and Crematoria Act 2013 and includes a memorial (within the meaning of that Act).*

*protected place means a shrine, monument or statue located in a public place, and (without limitation) includes a war memorial or an interment site.*

*war memorial means a war memorial located in a public place, and (without limitation) includes—*

*(a) the Anzac Memorial in Hyde Park, Sydney, being—*

*(i) the memorial building referred to in the Anzac Memorial (Building) Act 1923, and*

*(ii) the land described in the Schedule to that Act, and*

*(iii) any other structure on that land, and*

*(b) any other place prescribed under subsection (4) as a war memorial for the purposes of this section.*

**(2) A person must not wilfully damage or deface any protected place.**

*Maximum penalty—40 penalty units.*

**(3) A person must not commit any nuisance or any offensive or indecent act in, on or in connection with any war memorial or interment site.**

*Maximum penalty—20 penalty units.*

Under the Summary Offences Act 1988 it is an offense to willfully damage or deface a shrine, statue or memorial in a public place.

**11.4. Physical condition**

There are 307 Taihaku Cherry Trees in the Cherry Tree Walk. At this time 84 of those tree are dead. The health and longevity of the Cherry Trees is the most significant challenge for the War Memorial.

The monument and entry monoliths have had some minor damage that will need to be rectified.

The garden bed when reestablished with Rosemary will require regular weeding.<sup>19</sup>

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<sup>19</sup> The Australian War Memorial makes the following observations about Rosemary: *Since ancient times this aromatic herb has been believed to have properties to improve the memory. Perhaps because of this, rosemary became an emblem of both fidelity and remembrance in literature and folklore. Traditionally, sprigs of rosemary are worn on Anzac Day and sometimes on Remembrance Day, and are usually handed out by Legacy and the RSL. Rosemary has particular significance for Australians, as it is found growing wild on the Gallipoli peninsula.*



11.5. Uses, activities or practices essential to significance

Cultural practices and historical uses have been specifically for commemoration events. There is also an important user function which is the recreational value of the Cherry Tree Walk. Both of these uses are important in the management of the memorial.

11.6. Risks or threats

*Health of the Cherry Trees*

The Cherry Tree specimens have been subject to several threats. Initially the most prevalent was vandalism. When the trees were planted many were pulled out. The second threat has been a naturally occurring problem caused by a fungal disease Phytophthora. The Arborists report in Appendix 1 provides an in depth discussion of this problem.

*Flooding*

A Flood report prepared by Brewster Consulting made several recommendations regarding Mittagong Rivulet which referred to impact on the Cherry Tree Walk.

*Site 4: Shepherd Street – Merrigang Street – Rose Street. Drawing 3-11062-6 TREATMENT • Undertake investigation/ survey to allow detailed design of the creek line from Merrigang St through to Rose St. This area exhibits large exposed, vertical banks, erosion in close proximity to the Cherry Tree Walk and is adjacent to contaminated lands.*

*Victoria Street – Mittagong Road. Drawing 3-11062-8 TREATMENT • Undertake investigation/ survey to allow detailed design of the creek line from Victoria Street as shown. This area exhibits large exposed, vertical banks, erosion in close proximity to the Cherry Tree Walk and is adjacent to significant specimen trees; (Bewsher Consulting Pty Ltd, 2009)*

The flood map in the Brewster report shows the Vietnam War Memorial is within the high flood risk precinct. Flooding has always been a constraint for the memorial. The original designers were well aware that flood risk was a factor.

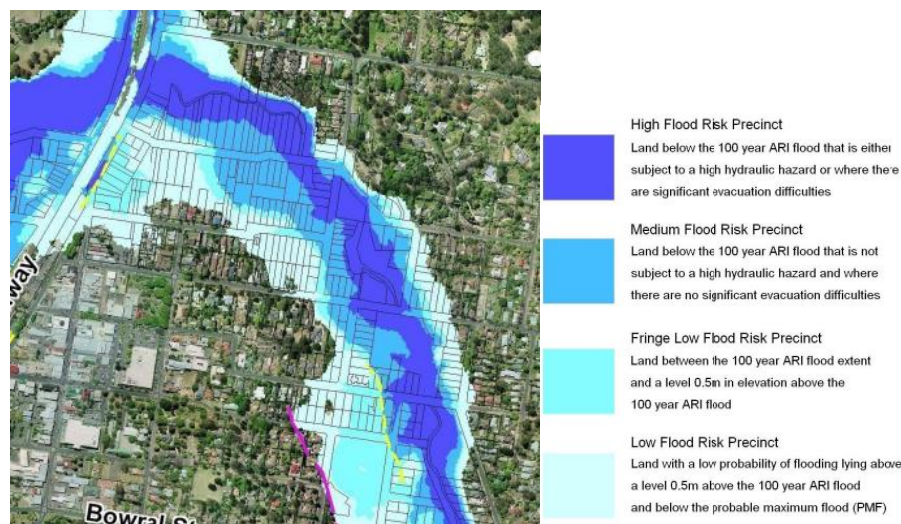


Figure 53. Flood risk areas associated with Mittagong Creek. (Bewsher Consulting Pty Ltd, 2009)

Urban development has occurred since the 2009 flood map was prepared which is likely to have changed the flood mapping. The 2009 map is included here to indicate the extent of the flood zone.

**11.7. Record Keeping**

There is no single repository for documents relating to the Vietnam War Memorial Cherry Tree Walk. An appropriate archive for all historic documents needs to be agreed upon by those holding records.

## **12. Conservation Policy**

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**12.1. Intention of conservation policy**

The primary purpose of a conservation plan is to establish policies which will guide the future care and development of a place. (Kerr, 2000)

Decisions made regarding the care and maintenance of the Vietnam War Memorial Cherry Tree Walk must be firmly grounded in an understanding of the significance of the place.

The conservation policy contained here is intended to facilitate the conservation and management of Bowral Vietnam War Memorial Cherry Tree Walk.

**12.2. Requirements for retention of significance**

The principal aspects of the significance of the place that should be retained and conserved are:

*12.2.1. The significance of Bowral Vietnam War Memorial Cherry Tree Walk should be conserved in accordance with this Conservation Management Plan.*

*12.2.2. The significance assessment and grading of significance within this report should form the basis for decision making.*

*12.2.3. This CMP should be adopted as a guiding document for the care and management of Bowral Vietnam War Memorial Cherry Tree Walk.*

*12.2.4. The principles of the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter) should be applied to future management and development of the place.*

**12.3. Future works**

Decisions affecting the conservation of the Vietnam War Memorial Cherry Tree Walk must be based on the assessment of significance contained in Section 9 of this CMP and the grading of significance contained in Section 1.

*12.3.1. The elements classified as exceptional significance in Section 10 have no tolerance for change except for conservation work.*

*12.3.2. The layout and design of the memorial is considered to have exceptional significance and must not be changed.*



12.3.3. *The memorial is considered to be complete and no further monuments are to be added within its curtilage.*

12.3.4. *The elements of moderate significance contribute positively to the significance of the memorial. There is room for modification of these elements providing it is done in consultation with key stakeholders and after a heritage impact assessment.*

12.3.5. *Elements of low value can be removed without impacting the significance of the memorial. However, if they have amenity value there may be reason to retain them.*

12.3.6. *Intrusive elements should be removed as they are detrimental to the significance of the memorial.*

#### 12.4. Consultation

The Vietnam War Memorial Cherry Tree Walk has high social value and carries deep personal and spiritual meaning for many Veterans. Any decision making regarding the memorial must be undertaken in such a way that all persons with an interest have the opportunity to be involved.

12.4.1. *No decisions regarding the Vietnam War Memorial Cherry Tree Walk are to be made without consultation with veterans involved in the building of the monument and veterans who live in the area who express an interest.*

12.4.2. *Where disagreement occurs during consultation this CMP should be used to assist in final decision making. A heritage impact statement should be prepared if change is proposed.*

12.4.3. *Where disagreement continues to exist then a professional mediator should be engaged to manage the consultation.*

#### 12.5. Taihaku Cherry Trees (*Prunus serrulata* 'Tai-Haku')

The Taihaku Cherry trees must be cared for in accordance with the recommendations of the Arborist Report in Appendix 1 of this CMP.

12.5.1. *Wingecarribee Shire Council should continue the program of succession planting where new trees are grown off site to replace those that die. The current numbers of trees being propagated should be doubled to address ongoing issues.*

12.5.2. *Replacement trees within the Cherry Tree Walk must be *Prunus serrulata* 'Tai-Haku' matching the specifications of the existing trees.*

12.5.3. *When removing dead trees and replacing with new trees the recommendations of the arborist contained in Appendix 1 should be followed to prevent soil pathogens and fungal diseases from reoccurring.*

12.5.4. *Pruning or works that affect the Cherry Trees shall only be undertaken by a qualified arborist.*

12.5.5. Council should map and plot each *Prunus serrulata* 'Tai-Haku' cherry tree on its Tree Plotter Asset Management System. The tree health and condition schedule and tree location plans contained in the arborist report in Attachment 1 in this CMP should be used as a starting point.

**12.6. River Oak Trees (*Casuarina cunninghamiana*)**

The River Oak Trees are part of the memorial and are inside the dedicated ceremonial area. They are intended to be part of the monument.

12.6.1. Pruning of the *Casuarinas* must only take place to remove damaged or diseased limbs or where the limb is making physical contact with the monoliths of the monument.

**12.7. Living Wreath garden at monument**

The River Oak Trees shed needles which have the affect of retarding the growth of other plants. In order for plants in the garden bed to survive the fallen needles will need to be removed on a regular basis. Management such as periodic removal of the mat of fallen 'needles' may reduce this effect and amelioration with soil conditioners may also improve plant health.

12.7.1. Seek horticultural advice for effective and efficient management to ensure the longevity of the garden plantings.

**12.8. The importance of keeping records.**

It is essential that records associated with the care, maintenance and cultural significance of Bowral Vietnam War Memorial Cherry Tree Walk are maintained in a secure local location. Recording changes made to the Memorial – before, during and after works with descriptions and photographs provides valuable information for future asset managers and custodians. It is important to record details such as tree planting, removal of dead trees, planting of garden beds or new plantings, treatment of existing trees such as pruning, to facilitate long term management and conservation.

All documents relating to the Memorial should be stored on a Wingecarribee Council file specific to the Bowral Vietnam War Memorial Cherry Tree Walk.

Copies of this CMP and historical information should also be lodged with the local history section of Wingecarribee Shire Library and Mittagong Heritage and History Society archives, so they are publicly available for reference.

12.8.1. Records must be maintained to record any change or maintenance in the Bowral Vietnam War Memorial Cherry Tree Walk. Changes should be recorded with photographs and written descriptions.

12.8.2. All records associated with Bowral Vietnam War Memorial Cherry Tree Walk must be stored on a Wingecarribee Shire Council file dedicated to the Memorial. A copy of this CMP and any historical information is to be provided to the Wingecarribee Shire library.

**12.9. Curtilage, views and setting.**

12.9.1. No changes other than maintenance are to be made within the curtilage of the Vietnam War Memorial Cherry Tree Walk without heritage impact assessment and consultation.

- 12.9.2. *No new trees are to be planted within the curtilage other than replacement Taihaku Cherry Trees.*
- 12.9.3. *Any proposals for remediation or restoration of Mittagong Rivulet within the curtilage should be the subject of Heritage Impact Assessment.*
- 12.9.4. *No new seating, planting or other permanent fixtures are to be introduced within the dedicated ceremonial area.*
- 12.9.5. *The park setting of the memorial should be maintained for passive recreational use to allow the tranquillity of the memorial to continue.*

**12.10. Maintenance**

- 12.10.1. *The memorial shall be maintained in accordance with the recommendations of this conservation management plan.*

**12.11. Vandalism**

- 12.11.1. *If the monoliths are affected by graffiti or physical damage from vandalism the advice of a professional materials conservator must be sought. Rectification of the damage must be undertaken to the specification of the materials conservator.*
- 12.11.2. *If vandalism to the trees within the curtilage occurs follow the advice of the arborist.*
- 12.11.3. *As the memorial is protected by the Summary Offences Act 1988 it is a criminal offence to wilfully damage or deface the Cherry Trees or the Monument. Vandals can be prosecuted under this Act.*

**12.12. Flooding and Mittagong Rivulet**

The memorial is in a riverine environment and consequently it is within an area prone to flooding. This should be acknowledged as one of the environmental characteristics of the memorial that has to be managed along with other environmental issues such as growing grass and weeds. Flooding should not be treated as a problem that needs to be solved but one which requires increased levels of maintenance after flood events.

- 12.12.1. *Asset management staff from Wingecarribee Council should inspect the whole of the Vietnam War Memorial Cherry Tree Walk after significant flood events to assess and record any damage. Work to rectify any damage should then be undertaken by suitably qualified persons.*
- 12.12.2. *Remove Casuarina debris from the monument garden bed, as part of post flooding and regular maintenance work.*
- 12.12.3. *Work to rectify flood damage should be maintenance only. Proposals for flood prevention by changing the design of the memorial will have an adverse impact upon its significance.*

*12.12.4. Proposals for the stabilisation of Mittagong Creek, whether by planting or structural works should be the subject of a heritage impact assessment if located beyond the top of the embankment. Vegetation and debris removal and scour protection works can be undertaken without heritage impact assessment between embankments so as to minimise flood damage on the memorial.*

**12.13. Path maintenance and infrastructure**

*12.13.1. If the pathway requires repair or renewal this should be done in consultation with Council's lead arborist.*

*12.13.2. If infrastructure such as drainage requires repair or upgrade within the curtilage the work must be done in consultation with Council's arborist.*

**12.14. Treatment of uncharacteristic elements**

*12.14.1. Elements are marked as intrusive in Table 1 should be removed or relocated outside the curtilage.*

**12.15. Temporary Structures**

*12.15.1. Temporary elements such as marquees, seating, rostrums, tables and so on are appropriate inside the curtilage if they are directly associated with a commemorative event directly related to the significance of the memorial.*

*12.15.2. Temporary elements in the dedicated ceremonial area must not obscure views to the monument.*

**12.16. Events**

*12.16.1. Events held within the curtilage must be relevant to the significance of the memorial.*

**12.17. Signage**

*12.17.1. Signage within the curtilage must be directly relevant to the Vietnam War Memorial.*

*12.17.2. Wayfaring signage must be discrete and located at intersections only.*

**12.18. Interpretation**

Interpretation is a means of sharing the significance of the place and any stories associated with the place. It is essential that interpretation does not impact the significance of the place. For example, signage or plaques can be intrusive if not placed with care. Electronic story telling is recommended as an alternative.

- 12.18.1. Interpretation of the War Memorial must not negatively impact its heritage values.*
- 12.19. Personnel**
- 12.19.1. Appropriately qualified staff and contractors should be the only ones to undertake repairs and maintenance. Skilled and experienced trades people should be engaged.*
- 12.19.2. Consultant trades-people and supervisory staff will be appropriately qualified in their relevant fields and will have knowledge and experience of sound conservation practices;*
- 12.19.3. All personnel should be provided with heritage training in the significance of the Vietnam War Memorial Cherry Tree Walk and should be provided with a copy of the policies and maintenance recommendations in this CMP.*
- 12.19.4. The arborists report should be provided to all personnel.*
- 12.20. Statutory heritage listing**
- 12.20.1. The Vietnam War Memorial Cherry Tree Walk should be included in Schedule 5 of Wingecarribee Local Environmental Plan as a heritage item. The listing should include the whole curtilage as described in Section 10.1 of this CMP.*
- 12.20.2. The Vietnam War Memorial Cherry Tree Walk has potential to be of State significance. A nomination should be prepared for a State Heritage Register listing and submitted to the Heritage Council of NSW for consideration.*
- 12.21. Public Availability of CMP**
- 12.21.1. This conservation management plan should be made available to the general public as a hard copy kept at each of the Wingecarribee Council Branch Library's and as an electronic document available to download from Council's website.*
- 12.22. Adoption of the CMP**
- 12.22.1. This Conservation Management Plan should be adopted by Wingecarribee Shire Council.*
- 12.22.2. This CMP is incomplete without its attachments. All reproductions of this CMP must include all attachments.*
- 12.23. Review of the CMP**
- 12.23.1. This CMP should be reviewed after 10 years.*

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## 13. Maintenance

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### 13.1. Taihaku Cherry Trees

*Recommendations of the Arborist (Moore Trees, Paul Vezgoff, 2024)*

#### *Soil pathogens and fungal diseases*

The risk of occurrence of the establishment of soil pathogens and fungal diseases can be reduced but ultimately difficult to fully protect from. It should be remembered that these diseases are natural processes whether introduced (Phytophthora) or not. A common factor in the spread of many of this disease is hygiene and maintaining good plant vigour and health in the first place. As the controls show, there are limited treatments once this disease has established.

#### *Existing Council practices*

Wingecarribee Shire Council currently has a replacement process in place. The current process, using off site propagation is recommended to continue. Currently there are 30-50 new trees being grown by the company Specialty Trees (Victoria). Due to the difficulty in the propagation of this species it is required to be carried out by this company. As the species is grafted the Root stock is known as F12/1 which I have been informed is more resilient to Phytophthora. Root stock 'F 12/1' is a clonally propagated selection of 'Mazzard' and favoured over to 'Mazzard' due to its uniformity and resistance to bacterial canker. 'Maxma 14' (P. mahaleb × P. avium) is a clonal selection of P.mahaleb and originated from an open-pollinated 'Mahaleb' tree (F.A. Canlı\* and F.Demir, 2014). Treatment of the soils with Phosphonate is also occurring. These existing practices are all beneficial for the management of the Phytophthora.

#### *Succession planting*

According to the arborists assessment the 30-50 new trees currently being grown should be doubled.

#### *Australian Standards*

Australian Standards relevant to the care of the trees are AS 4373 (2007) *Pruning of Amenity Trees*, and AS 4970 (2009), *Compost, Soil Conditioners & Mulches*. These two (2) Standards both have important specifications and procedures that should be implemented so as to help restrict the spread of this disease and potentially other diseases.

AS 4373 (2007) *Pruning of Amenity Trees* provides well researched specifications on pruning techniques that should be implemented at all times. Bodies responsible for the monitoring of works have a responsibility to ensure that pruning works are undertaken in accordance with this standard. Poor pruning techniques greatly encourage the establishment of pest and disease along with tool hygiene.

AS 4454 (2012) *Compost, Soil Conditioners & Mulches* provides manufacturers, suppliers, customers and government bodies with the minimum requirements for the physical, chemical and biological properties of composts, soil conditioners, mulches and vermicast, as well as labelling and marking, in order to facilitate the beneficial recycling and use of compostable organic materials with minimal adverse impact on environmental and public health, by avoiding biosecurity and phytotoxicity risks associated with inappropriate products (AS4454, 2012).

It is strongly recommended that the Contractors or staff who maintain the Cherry Tree Walk obtain and familiarise themselves with these Standards in order to help reduce the risk of contamination of the soil pathogens and fungal diseases to the site.



#### **Mulching**

With regards to *P.cinnamomi*, the root zone below each tree should be kept mulched in order to maintain soil microbe activity with a combined leaf and wood chipped based mulch. It was noted that several specimen trees were mulched around the base, which is good horticultural practice however, ideally, the mulch should be spread to the drip line. Exposed woody surface roots should also be covered with mulch so as to reduce the chance of mechanical damage to these roots. To ensure a good environment for soil microbes, mulch particles need to be larger than 16mm but not larger than 30mm. A good quality mulch supplier should be able to provide this information on their products. For more detailed information on mulch specifications, please refer to AS4454, 2012. Mulching to the drip line will also help reduce soil compaction from mowing practices, thus helping fine feeder roots grow.

#### **Mapping**

With any serious pest or disease, the mapping of the locations should occur so as to provide a quick visual reference and maintain a record of confirmed or possible affected areas with the site. This could be included in any Council asset management system. The infected areas should be mapped against the tree locations using the Tree Plotter® asset management system. The previous pathology report was completed in 2011 and as such is quite old. Updated testing is recommended along the entire length of the walk or between each street section.

#### **Three step system to deal with Phytophthora**

The following three (3) step system can also help deal with Phytophthora. These three (3) key elements below should be followed within Council. They are detailed as follows;

##### *Prevention (mitigate risk of new outbreaks):*

Garden beds should be kept mulched in order to maintain soil microbe activity. Ideally the mulch should be spread to the drip line of any tree. Avoid water logging and general plant stress. All tools used for pruning should be cleaned before and after use with 70% methylated spirits and water or diluted household bleach in order to sterilize tools. Any symptoms of this disease should be tested immediately to confirm its presence. Positive identification shall be mapped onto a Disease Location Map. All horticultural and arboricultural field staff should be made aware of any infected areas upon site induction. Prevention is obviously difficult when the site is already colonised.

##### *Preparedness and emergency response*

Preparedness and emergency response (define the process which needs to be in place to respond to new outbreaks): Confirmation of the disease should be undertaken through scientific testing. If identified the disease should be mapped onto a Disease Location Map. Affected trees will die quickly so their removal shall be undertaken so as not to leave infected wood particles in the soil as best as possible. The infected tree will be taken to a landfill site and not mulched on site.

##### *Ongoing management*

Ongoing management (have the appropriate arrangements to be in place for the ongoing management of pest and diseases that become established): Fungicides that contain potassium phosphonate are registered for control of this disease. The manufacturer's instructions shall be followed for this type of application.

**13.2. Conservation of the Monument and entry obelisks**

All staff responsible for maintaining the monument as well as any volunteers should undergo training with a specialist materials conservator.<sup>20</sup> Maintenance can be undertaken by staff with training. Please refer to the condition report in Attachment 2 for description and diagram of monolith numbers.

Regular maintenance would include the following (Sydney Artefacts Conservation, 2024):

- a. Washing down the monoliths every 2-3 months to remove dirt build up, urine stains and accumulation of cobwebs and plant material. Dry brush the tops and sides to remove casuarina pine needles and cobwebs, then hand wash with non-ionic detergent<sup>21</sup> and sponges. Extreme care must be taken when washing around the gilded lettering. No water blasting.
- b. Inspect to determine if Casuarina tree branches are overhanging or in contact with the monoliths. In particular Monoliths 4, 5 and 6. Any tree branches in contact with the monoliths should be pruned by an arborist.
- c. Monitor cherry blossom trees at the rear of Monolith 6 and Monolith 9. If touching the monoliths assess whether there is likely to be damage and prune judiciously if required. Otherwise clean the area where there is minor contact with the monolith.
- d. Regular weeding around the monoliths. Do not over water next to the monoliths.
- e. Monitor the pointing. If there are missing or damaged areas then engage a specialist to repoint to ensure there is no water ingress.

Conservation treatments to stabilise the condition (Sydney Artefacts Conservation, 2024):

It is recommended that a specification is prepared prior to any conservation works to determine the full scope of works, locations of damages and techniques and materials to be used in the restoration. The specification should be prepared by a specialist Materials Conservator.

Options for inclusion in the specification.

- Clean all monoliths first.
- Minimise water ingress into the monoliths by
  - Remove and replace elastomeric sealant where it has failed or is missing in joints. Care at edges where cracks are adjacent to the joins as these will require patching.
  - Repair damaged cement footings surrounding Monolith 8.
- It is recommended that the very damaged granite slabs are replaced as the extensive cracking is compromising the integrity and aesthetics of the individual monolith. It is suggested that two extensively cracked granite panels on Monolith 9; the cracked inscription panel on the obverse (west) and the cracked panel on the north side, are replaced with matching 20mm thick polished granite panels.
- Cracked panels can be consolidated and patched with conservation grade adhesives and fillers.
- Holes and losses in the granite to be patch repaired with conservation grade materials to match the surrounding areas to ensure continuity of the surface and to present a cared for appearance.

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<sup>20</sup> For example, Sydney Artefacts Conservation has run half day workshops for City of Sydney maintenance staff.

<sup>21</sup> Non-ionic detergent is a specialist conservation surfactant. It is available to purchase online. It is not recommended use any other type of detergent.

- The unpolished grey areas to be repolished to match the surrounding surface finish.
- The oxidised plaque on Monument 8 requires a conservation treatment to improve legibility, reduction of corrosion products, repatination of the background surface, polishing and regilding the tops of the relief letter and application of a protective coating.

**Garden bed around the monoliths:**

The garden bed should be weeded and planted with Groundcover Rosemary *Rosmarinus officinalis* 'Prostrata'. Rosemary is traditionally associated with remembrance of those lost in war.

*Rosmarinus officinalis* Prostrata is a low growing, hardy, woody stemmed, evergreen, shrub with olive green, needle-like foliage that releases fragrant oils when crushed. It will grow in any well-drained, lighter soil but will put up with poor soils. It is generally pest and disease free.

When established it should be lightly pruned regularly to keep it tidy.

The bed will need to be weeded until the Rosemary is well established.

When established the Rosemary should be pruned to at least 300mm from the monoliths and 500mm from the Cherry Trees.

When watering the garden bed keep moisture away from the monoliths.

**13.3. Park maintenance within the curtilage<sup>22</sup>**

**Principles**

- 13.3.1. The parklands within the memorial curtilage shall be maintained in accordance with the conservation policy of this conservation management plan.
- 13.3.2. No changes other than maintenance are to be made within the curtilage of the Vietnam War Memorial Cherry Tree Walk without heritage impact assessment and consultation.
- 13.3.3. The park setting of the memorial should be maintained for passive recreational use to allow the tranquillity of the memorial to continue.
- 13.3.4. All personnel with responsibility for maintenance shall be provided a copy of this CMP and its attachments.

**Trees**

- 13.3.5. No new trees are to be planted within the curtilage other than replacement Taihaku Cherry Trees.
- 13.3.6. Council should continue the program of succession planting where new trees are grown off site to replace those that die. The current numbers of trees being propagated should be doubled to address ongoing issues.
- 13.3.7. Replacement trees within the Cherry Tree Walk must be *Prunus serrulata* 'Tai-Haku' matching the specifications of the existing trees.
- 13.3.8. When removing dead trees and replacing with new trees the recommendations of the arborist contained in Appendix 1 should be followed to prevent soil pathogens and fungal diseases from reoccurring.

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<sup>22</sup> The following recommendations are based upon the policy in this CMP. They are summarised here to provide an easy reference guide for Council staff. If there is any doubt over meaning Section 12 and the rest of the CMP should be consulted.

13.3.9. Pruning or works that affect the Cherry Trees shall only be undertaken by a qualified arborist.

13.3.10. There is to be no under pruning of the Casuarinas.

13.3.11. Pruning of the Casuarinas must only take place to remove damaged or diseased limbs or where the limb is making physical contact with the monoliths of the monument.

*Monument Garden*

13.3.12. Remove Casuarina debris from the monument garden bed, as part of post flooding and regular maintenance work.

*Furniture and other fixtures*

13.3.13. No new seating or other permanent fixtures are to be introduced within the dedicated ceremonial area.

13.3.14. Proposals for seating or signs or other permanent fixtures outside the dedicated area and within the curtilage must be subject of a heritage impact assessment and consultation according to the policy of the CMP.

13.3.15. Signage within the curtilage must be directly relevant to the Vietnam War Memorial.

13.3.16. Wayfaring signage must be discrete and located at intersections only.

*Mittagong Creek*

13.3.17. Flooding should not be treated as a problem that needs to be solved but one which requires increased levels of maintenance after flood events.

13.3.18. Asset management staff from Wingecarribee Council should inspect the whole of the Vietnam War Memorial Cherry Tree Walk after significant flood events to assess and record any damage. Work to rectify any damage should then be undertaken by suitably qualified persons.

13.3.19. Any proposals for remediation or restoration of Mittagong Rivulet within the curtilage should be the subject of Heritage Impact Assessment.

13.3.20. Work to rectify flood damage should be maintenance only. Proposals for flood prevention by changing the design of the memorial will have an adverse impact upon its significance.

*Vandalism*

13.3.21. As the memorial is protected by the Summary Offences Act 1988 it is a criminal offence to wilfully damage or deface the Cherry Trees or the Monument. Vandals can be prosecuted under this Act.

13.3.22. If the monoliths are affected by graffiti or physical damage from vandalism the advice of a professional materials conservator must be sought. Rectification of the damage must be undertaken to the specification of the materials conservator.

13.3.23. If vandalism to the trees within the curtilage occurs follow the advice of the arborist.

*Pathway maintenance*

13.3.24. If the pathway requires repair or renewal this should be done in consultation with Council's lead arborist.

13.3.25. If infrastructure such as drainage requires repair or upgrade within the curtilage the work must be done in consultation with Council's arborist.



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## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

### Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

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<https://www.wsc.nsw.gov.au/Places/Facilities/Parks/cherry-tree-walk-bowral>

Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

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Annexure 1. Arboricultural Report by Paul Vezgoff, Moore Trees

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Annexure 2. Condition Report by Anne Cummins, Sydney Artefacts Conservation

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## Appendix 3 Consultation

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Engagement with the community was facilitated by Wendy Todd of Planning Plus.

Face to face discussions were held with the following:

- Annabel Murray, a member of Australian Garden Historical Society but not representing the society – 10 December 2023
- Graham Tooth, Vietnam Veteran, original team member for construction of the memorial – 11 December 2023.
- Roy Elbourne, Vietnam Veteran, original team member for construction of the memorial– 11 December 2023.
- Ray McCann, Southern Highlands Vietnam Veterans, Peacekeepers and Peacemakers Association – 16 November 2023.
- Graham Tooth and Roy Elbourne, phone call 31 January 2024.
- Tony Blake Vietnam Veteran, original team member for construction of the memorial – Phone call 28 February 2024.

A Draft Statement of Significance was sent to the following on 16 January 2024:

- Bud Townsing, Berrima & District Historical Society
- Annabel Murray, a member of Australian Garden Historical Society but not representing the society
- Graham Tooth, Vietnam Veteran, original team member for construction of the memorial
- Roy Elbourne, Vietnam Veteran, original team member for construction of the memorial
- Ray McCann, Southern Highlands Vietnam Veterans, Peacekeepers and Peacemakers Association
- Baden Taylor, Sub Branch President, Mittagong RSL
- John Cummins, Sub Branch President, Bowral RSL
- Robert McClaren, Sub Branch President, Moss Vale RSL
- Robert Williams, Sub Branch President, Bundanoon RSL
- Robert Brown, Sub Branch President, Southern Highlands National Servicemen (NSAA)

A page on Participate Wingecarribee website with a survey and a copy of the Draft Statement of Significance was open for submissions from 31 January 2024 until 21<sup>st</sup> February 2024. A summary of submissions was provided by Council and is included here.

## **Vietnam War Memorial Cherry Tree Walk Summary of Feedback**

### **Demographics of People Visiting the Vietnam War Memorial Cherry Tree Walk**

Age of Visitors						
10-17 yrs	18-30 yrs	31-44 yrs	45-55 yrs	56-65 yrs	66-75 yrs	75+ yrs
1	3	4	5	5	23	33

Resident, Visitor or Veteran		
Resident	Visitor	Veteran
62	3	9

Wingecarribee Resident	
Resident	Non-resident
71	3

### **Overview**

The Bowral Cherry Tree Walk and Vietnam War Memorial community consultation saw 74 people visit the Participate Wingecarribee website and complete the online survey (demographics of people who completed the survey shown above).

The responses also highlighted the following:

- 36 people visited the site at least once a week,
- 10 people visited it at least once per month
- 25 people visited it rarely but at least once per year
- 2 people never visited or were no longer able to visit the site
- While the memorial / walk was visited at all times of the day, morning was the most numerous of responses received,
- While the site is visited all year round, Spring and when events are held were the favourite time of the year to visit.
- 44 of survey respondents visited the Memorial only or Memorial and walk
- 72 of survey respondents visited the walk only of walk and memorial

Of the 72 respondents that used the walk / path, the usage was as follows:

Cherry Tree Walk – Usage of walk			
Walk	Run	Cycle	Walk Dog
54	4	4	12

## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

### Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

The two themes that permeated the responses centred around the natural beauty of the site (particularly the walk and the trees) and the memorial that commemorates those that served during the Vietnam war.

Comments surrounding the natural beauty included: "beautiful peaceful place, cherry trees blossoms, quiet place, vistas along the paths"

Comments surrounding the Vietnam Memorial included: "honouring those that lost their lives, place to remember lost friends, commemorates the war veterans, fitting memorial to our Vets".

The following tables contain the answers to two questions in the survey.

1. What do you like most about the Cherry Tree Walk?
I think the memorial is stunning and the cherry trees are beautiful in spring
The layout and beauty
How peaceful it is. The memorial provides a place for contemplation.
The peacefulness and silence as you stroll along enjoying nature.
The trees
It is beautiful, and sacred
It is a scenic and enjoyable ride along the Mittagong Rivulet
Hard to put into words, perhaps the overall effect?
Serenity
It's a steady beautiful paved walk that you can safely meander through.
Walkway between east bowral and central bowral
The trees
TRANQUILITY AND REVERENCE.
The trees(although too many are now dead or neglected). It's a lovely walk, beautiful and peaceful and with a flat path.
peaceful and easy walk..creek needs regular cleaning to allow water to flow
That it is a place for reflection.
The trees , clean , tidy , well maintained, generally not too busy, and meeting the dogs .
being able to exercise in a safe location
It is just right for its location
Comfortable safe beautiful
No hills.



# AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

1. What do you like most about the Cherry Tree Walk?
The peace and tranquility
It's a good walk that changes with the seasons.
All of the names of those lost are on there, it is in a peaceful area.
a healthy walk
All of it
Proximity to town
The Cherry Trees and the general walking environment.
Beautiful shaded path
the location
The memorial to Vietnam Veterans, the solitude, the green umbrella of trees
The trees
The disconnect from everyday concerns.
Away from traffic, peaceful and a great way into town
The monument circle amongst the Casuarinas
From the picture it looks a really beautiful memorial
The tranquility of the walk & the beauty of the memorial & its surrounds
A reflective walk created by a 'loving few' to remember fallen.
The lovely walk
Its peacefullness yet constant use
It is an attractive, shady, quite protected nature walk
It's flat, safe and visually very beautiful
Blossom and its long stretches
no traffic or very little
The cherry trees & the winding path along the creek
Every thing and anything that may add to the tranquility of this unique and spiritual walk.
The flower display. being outdoors
The cherry trees lining the good walking paths. A place for contemplation
Public use. The national scope of the memorial. Tastefully presented.
It's a picturesque scenic walk
THE TREES & SERENITY

## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

1. What do you like most about the Cherry Tree Walk?
Definitely the trees (when they were in good condition years ago)
Memorial
space
A quiet place to sit
it's location and the dedication of Effie Kerr .
The creek, and ducks. I prefer native bush but the Cherry blossom is nice
Peace, quiet & beauty
Away from traffic
You meet friendly people as you walk.
The trees, the winding roads and the wildlife
calmness and time to reflect
Trees and peace and seeing others enjoying the walk
the trees, rural setting
Meandering along the stream surrounded by nature
Cherry trees and concrete path
What is represents and the beauty of the Cherry trees
All the trees
Until they all started dying, the trees, the vistas along the path, its significance, its beauty
off street
the vegetation especially the cherry trees
The assorted greenery and well maintained pedestrian paths
The dedication area
The peace and spiritual nature of the place

2. Why is the Vietnam War Memorial Cherry Tree Walk important to you?
It's important to show respect to our Vietnam Veterans who were so ill-treated on their return from the conflict
It's a great reminder of what the Vietnam vets went through and just how many soldiers were killed
As stated in previous question, because my husband is a Vietnam Veteran, conscripted. To this day I am still angry about the injustices these men had to endure over not only their

## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

2. Why is the Vietnam War Memorial Cherry Tree Walk important to you?
period of service but throughout their lifetime.
It is a very special place to commemorate and remember in a beautiful setting the brave Service people who served Australia.
It is a lovely walk
It is a part of the sacred site, recognising the service of our Vietnam Veterans, and honouring those who lost their lives.
To remember the fallen, and i enjoy my cycling
As a Veteran having served in Vietnam as an Infantry soldier, its important to have a recognised site to reflect on our service and Honour those who did not return.
Valuing those who fought
It's a beautiful connecting walk way between through the neighbourhoods. Additionally it's a great tourist attraction to the area. When the trees are blossoming it's breathtaking and just a wonder place my family and I frequent on a weekly basis. It's great for walking, running, cycling with family and small kids plus walking my dog. Love it.
Walking space
It is a beautiful reminder of the service and sacrifice of hundreds, integrated directly into the way of life in Bowral.
IT IS FOR THE MEMORY OF THOSE WHO SERVED OR LOST THEIR LIVES SERVING THIS COUNTRY OF OURS.
It's respectful to the veterans and a part of our history that is often overlooked.
My father was a Vietnam Veteran and the memorial contains names of people i knew
It is incredibly important to preserve the memory of those who served our country in times of war.
It's a very pleasant walk. Plus I like the equipment at the pool end and I feel it's important to remind everyone the Vietnam War and all wars. It's a credit to Wingecarribee council to see the walk so well maintained. It's always pleasurable .
It is a great place to exercise that is car free - although there are a few road crossings. There are very few places for recreation in Bowral - most foot paths are uneven, overgrown or non-existent. It is a treasured community asset that allow residents to enjoy the local environment
It commemorates a significant war in Australia's history, and one which had far less attention than it should have
Provides the opportunity to pay our respects to the fallen in that controversial time. Renewed gratitude for the lives we all live in this beautiful country. Thank you for including those who served in 1975, as I did. This war for me ended then.
Friends of mine who served in the war.

## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

2. Why is the Vietnam War Memorial Cherry Tree Walk important to you?
It's a well used community space
It's a time and place of reflection - it's a community resource that is loved by visitors and residents alike - there is wildlife in the creek - Rakali and platypus - lots of bird life and is well maintained and a pleasure to walk along every morning ending at the outdoor gym or the pool.
It is a historic asset
recognises war vets
To remember my mates who were killed in the Vietnam War and remember all the hard work that went into the construction of the Memorial
We are a family of veterans.
They are both dear to my heart as they are living memorials to the servicemen that lost their lives during the Vietnam War. It is relevant to the memory of all servicemen and women in my opinion.
My father in law was a Vietnam vet and they need to be honored, it's also a lovely community walk, I see all different ages enjoying it on a Sunday morning everyone out getting some fresh air and exercise it beautiful
it is dedicated to those who died and those who served. Their service should never be forgotten.
It symbolizes what Australian service men do for our country.
It is important to me to remember all those who served in past wars from our community.
My Generation
It's a beautiful part of Bowral
Childhood friend of R G Birse - fragged 10th December 1967
My brother was in the Vietnam war and came back with PTSD and later took his life
I am a past president of the Southern Highlands Vietnam Veterans Association & have attended numerous services at the memorial. To me it is a vital point of focus for residents & visitors who served, to remember those that paid the ultimate sacrifice
Remembering lives lost. I did national service when Vietnam war was on but never did active service but friends did and some were injured and killed.
As I was the Vietnam War Memorial Cherry Tree Walk Treasurer along with the late Effy Kerr and the late Kevin Galliger
That each Cherry tree represents a person's ultimate contribution to Australia
As a safe place to walk for exercise
It's beautiful, quiet and safe to walk, it's flat and easy to navigate and always nice to greet others enjoying the walk and see the ducks and other animals along the way

# AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

Vietnam War Memorial Cherry Tree Walk, Bowral – Conservation Management Plan

2. Why is the Vietnam War Memorial Cherry Tree Walk important to you?
Recognition of those who served especially those who were conscripted for 2 years of their early 20s
to remember people who died in the war
To honour the Vietnam Veterans. And the walk is so pretty
A safe place to be that will last forever.
I love the cherry trees.
It is THE most beautiful memorial to a tragic war that involved my contemporaries, many of whom lost their lives & should never be forgotten
I have a relative named on the memorial
Being a local resident I find it very tranquil to walk under the cherry trees
THIS WALK / MEMORIAL IS SOMEWHAT UNIQUE, ESPECIALLY FOR A REGIONAL TOWN. SHOULD BE MORE CULTIVATED, ( LOCALS ), & ADVERTISED MORE BROADLY
It's a beautiful walk year round and it's rare to be able to walk on a shaded path in summer
Appropriate place to remember veterans, my brother served in Vietnam.
calm peaceful, off road
Remembering friends lost
because it helps my mates
Commemoration of the war that affected me and the people born around 1945 to 55. The war in Vietnam dominated my young adulthood and I know many people still affected
Because it is a wonderful & fitting Memorial to remember our Vets from the Vietnam War
Commemorates the Vietnam war and the casualties suffered by Australia
It is a lovely place to walk and contemplate the past.
It's a beautiful and peaceful place to spend time and walk through the town
remembrance
History and recognition of local commitment to pursuing peace
My husband is a Vietnam Veteran
So we will always remember the sacrifices soldiers made for us
Natural beauty and pleasant walk
We should never forget the sacrifices made and in particular how poorly our Vietnam Veterans were treated on their return to Australia. It is vitally important to continue to show respect and gratitude for their service.

2. Why is the Vietnam War Memorial Cherry Tree Walk important to you?
Beautiful walking track with the cherry trees, oak trees, creek, and heritage homes
For every reason - the memorial to the Vietnam soldiers, for its beauty and its significance in the shire
Peaceful
it is a safe and beautiful walking track
It is one of the great green walks/runs through Bowral that emphasise the beauty of the city. It is a good place to take dogs, to show visiting family, and just to workout/enjoy.
To commemorate and honour those who died; to acknowledge the pain and suffering of those who were wounded both physically and mentally; to pay tribute to all who served in South Vietnam in the military during the war; and to remind everyone of the futility of war
It is a significant social, historical and memorial place.

[Home](#) / [Vietnam War Memorial Cherry Tree Walk](#)

## Conservation Management Plan Survey

The Vietnam War Memorial Cherry Tree Walk is a unique war memorial and commemorative walk commemorating those Australian service men and women who gave their lives in active service during the Vietnam War. The Vietnam War Memorial Cherry Tree Walk has great historic, cultural and spiritual significance to Vietnam Veterans, past and present service men and women, the Southern Highlands community and visitors Australia wide. The Monument carries the names of the Australian war dead from the Vietnam War within a circular living wreath. The Cherry Tree Walk is a commemorative pathway, approximately 1.6 kilometers long consisting of "Taihaku Cherry Trees", representing the 528 service men and women who died during the Vietnam War from 1962 to 1974. The Cherry Trees are planted along a concrete shared path that follows Mittagong Rivulet between Mittagong Road and Boolwey Street.

The Memorial has become a significant historic and cultural asset for Wingecarribee Shire. The dedicated Vietnam War Memorial is listed on National and State War Memorial Registers, and receives a high level of recognition.

Wingecarribee Shire Council is preparing a Conservation Management Plan (CMP) for the Vietnam War Memorial Cherry Tree Walk to ensure the significance and important values of the place are conserved for future generations. Conservation Management Plans outline what is important about a place and how to manage change over time to ensure the important things are retained and conserved. Central to the CMP will be the Statement of Significance which outlines what is important about the Memorial and guides future decision making.

A Draft Statement of Significance has been prepared and is [available here](#) for consideration.

Closed

### Survey

To assist in the preparation of the Conservation Management Plan we are conducting a brief survey to help establish the importance and significance of the Memorial to the residents, visitors and stakeholders in Wingecarribee Shire.

Start Survey



Figure 54. Snapshot of Participate Wingecarribee Web Page

## Key Dates

**Thursday 1 February 2024 to  
Wednesday 21 February 2024**  
 Survey Duration

## Document Library

**Statement of Significance**  
 PDF (120.22 KB)



Annexure 4. Drawing of Existing Monument

Moore Trees  
Arboricultural Services  
ABN 90887347745

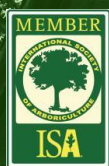
# ARBORICULTURAL REPORT

Vietnam War Memorial Cherry Tree Walk  
Bowral NSW 2576

February 2024  
*FINAL*

Prepared for: Lousie Thom  
Heritage Consultant 204 Princess Hwy Corrimal NSW 2518

Prepared by: Paul Vezgoff  
Consulting Arborist  
ISA, AA  
Arboriculture Australia Registered Consultant



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## Summary

This report has been conducted to assess the health and condition of three hundred and forty four (344) trees located Bowral Vietnam War Memorial Cherry Tree Walk, 142 Mittagong Road, Bowral NSW 2576. This report has been commissioned by Louise Thom, Heritage Consultant on behalf of Wingecarribee Shire Council as required for the proposed upgrade works at this site.

The study area that includes the Cherry Tree Walk, the memorial and ceremonial areas are known as The Vietnam War Memorial Cherry Tree Walk. The site of the Cherry Tree Walk was conceived as a cycle/walking track along Mittagong Rivulet, and approved by Wingecarribee Shire Council in 1995. It is planted on either side with white flower Tai Haku Cherry Trees and restoration of the neglected Mittagong Rivulet was also deemed a necessary part of the project. The Vietnam War Memorial ceremonial space and monument are located within the Cherry Tree Walk and provide aesthetic significance as a rare 1.3 km Tai Haku Cherry Tree avenue of honour.

The three hundred and seven (307) specimens of Tai Haku Cherry Trees were assessed for this report. It has been written that there were to be one tree planted for every Australian soldier killed during the Vietnam War which, based on the Australian War Memorial totalled 523 service personnel. To date, there appears to be a deficit of two hundred and sixteen trees. Of the three hundred and seven (307) specimens, eighty four (84) were dead (27%) at the time of inspection.

The risk of occurrence of the establishment of soil pathogens and fungal diseases can be reduced but is ultimately difficult to fully protect from. It should be remembered that these diseases are natural processes whether introduced (*Phytophthora*) or not. A common factor in the spread of many of this disease is hygiene and maintaining good plant vigour and health in the first place. As the controls show, there are limited treatments once this disease has established.

Council currently has a replacement process in place. The current process, as discussed with Council representative Tree Management Team leader Charlene Ferguson, of offsite propagation is recommended to continue. Currently there are 30-50 new trees being grown by the company Specialty Trees (Victoria). Due to the difficulty in the propagation of this species it is required to be carried out by this company. As the species is grafted the root stock is known as F12 which I have been informed is more resilient to *Phytophthora*.

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21/02/2024	Draft 1 issued
8/03/2024	Final version issued

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## **1 INTRODUCTION**

- 1.1** This report has been conducted to assess the health and condition of three hundred and forty four (344) trees located at the Vietnam War Memorial Cherry Tree Walk, 142 Mittagong Road, Bowral NSW 2576. This report has been commissioned by Louise Thom, Heritage Consultant on behalf of Wingecarribee Shire Council as part of a Conservation Management Plan as required for the ongoing management of the site.

The scope of this report is as follows;

1. Genus and Species identification of the relevant subject trees.
2. Assess health, hazard, structure, amenity value and safe useful life expectancy (SULE) rating for the subject trees.
3. Identify pests or disease, fauna or potential habitat, any site changes and surrounding structures that may affect the health of the subject trees.
4. Management recommendations to ensure long term health and condition of the subject trees is optimised.
5. A Tree Location Plan of the relevant subject trees, allocating an individual number to each tree.

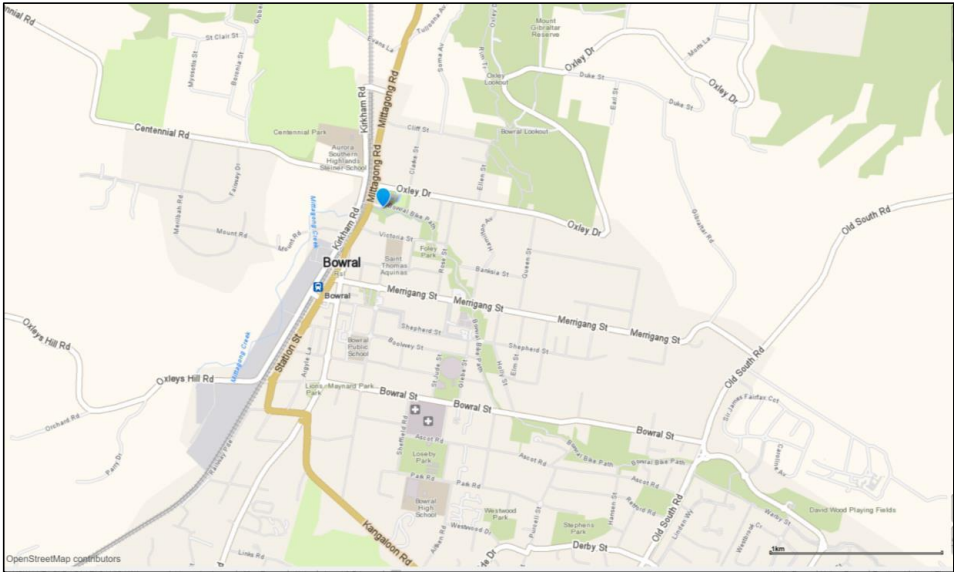
In addition to the scope, I have also conducted a basic soil compaction test and soil pH testing at three (3) locations. The scope of works does not include the surveying of the subject trees or risk assessment.

Also noted for the purpose of this report were:

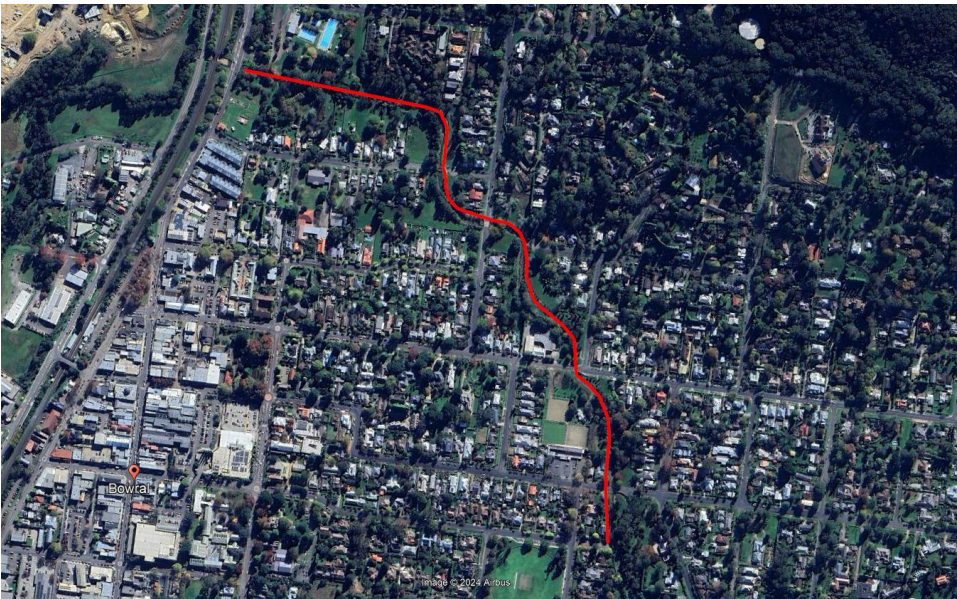
- Health and vigour; using foliage colour and size, extension growth, presence of deadwood, dieback and epicormic growth throughout the tree.
- Structural condition using visible evidence of bulges, cracks, leans and previous pruning.
- Age rating; Over-mature (>80% life expectancy), Mature (20-80% life expectancy), Young, Sapling (<20% life expectancy).

- 1.2 Location:** The site is located at Vietnam War Memorial Cherry Tree Walk at 142 Mittagong Road, Bowral NSW 2576. The study area that includes the Cherry Tree Walk, the memorial and ceremonial areas are known as The Vietnam War Memorial Cherry Tree Walk. This area from herein will be referred to as "the Site". The study area is shown in Diagram 2.





**Diagram 1:** Location of subject site, Cherry Tree Walk, Bowral NSW 2576 (Blue Marker)  
(whereis.com.au, 2024)



**Diagram 2:** The study area is the red path (Google earth 2024).



## **2 METHODOLOGY**

- 2.1** To record the health and condition of the trees, a Visual Tree Assessment (VTA) was undertaken on the subject trees on 30/01/2024 and 7/02/2024. This method of tree evaluation is adapted from Matheny and Clark, 1994 and is recognised by The International Society of Arboriculture, Arboriculture Australia and The Institute Australian of Consulting Arborists (IACA). It is also known as a Level 2: Basic Assessment Process as per the International Society of Arboriculture best management practices.
- 2.2 Height:** The heights and distances within this report have been measured with a Bosch DLE 50 laser measure or estimated where required.
- 2.4 Tree Protection Zone (TPZ):** The TPZ is the principal means of protecting trees on development sites. The TPZ is a combination of the root area and crown area requiring protection. It is an area isolated from construction disturbance, so that the tree remains viable. TPZ's have been calculated for each tree only as a guide for any potential trenching or drainage works for the walk. The TPZ calculation is based on the Australian Standard *Protection of trees on development sites*, AS 4970, 2009.
- 2.5 Structural Root Zone (SRZ):** The SRZ is a specified distance measured from the trunk that is set aside for the protection of tree roots, both structural and fibrous. The woody root growth and soil cohesion in this area are necessary to hold the tree upright. The TPZ and SRZ are measured as a radial measurement from the trunk. No roots should be severed within the SRZ area. A detailed methodology on the TPZ and SRZ calculations can be found in Appendix 5.
- 2.6 Safe Useful Life Expectancy (SULE):** The subject trees were assessed for a Safe Useful Life Expectancy (SULE). The SULE rating for each tree can be seen in the Tree Assessment Schedule (Appendix 2). A detailed explanation of SULE can be found in Appendix 4.
- 2.7 Plans and information provided:** For this Arboricultural Report I was supplied the following documents:
- Thom Louise, 2024. *Draft Statement of Significance*.
  - *Vietnam War Memorial* by Graham Tooth 2023
  - Original Brief - 2021 by Vietnam Vets Southern Highlands

### **3 RELEVANT BACKGROUND INFORMATION AND OBSERVATIONS**

- 3.1** The site of the Cherry Tree Walk was conceived as a cycle/walking track along Mittagong Rivulet, and approved by Wingecarribee Shire Council in 1995. It is planted on either side with white flower Tai Haku Cherry Trees and restoration of the neglected Mittagong Rivulet was also deemed a necessary part of the project. The Vietnam War Memorial ceremonial space and monument are located within the Cherry Tree Walk and provide an aesthetic significance as a rare 1.3 km Tai Haku Cherry Tree Avenue of Honour. The walk provides a pleasant, generally level, walk away from traffic. The walk and memorial are known as The Vietnam War Memorial Cherry Tree Walk.



**Plate 1:** Image showing one of the walk entry points. P. Vezgoff

- 3.2 Environmental Significance:** All trees in the Wingecarribee Local Government Area are protected and cannot be removed without the adequate requirements being met. Specifications relating to what can and cannot be removed are detailed in Bowral and Burradoo Township Development Control Plan (DCP) Version 14, March 2021; and also within the Wingecarribee Local Environment Plan (WLEP) 2010 specifically Section 7 Vegetation Management & Landscaping A7.1 Preservation of Trees and Other Vegetation A7.1.1.
- 3.3** Section 6 Vegetation Management and Landscaping, A6.1 Preservation of Trees and Other Vegetation effective 1 January 2021. This DCP protects all trees in the Wingecarribee Local

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Government Area. A tree means a perennial plant with at least one self-supporting stem which,

- (a) has a height of more than 6 (six) metres, and
- (b) has an outside circumference of at least 500mm at a height of 1 metre above the ground, or,
- (c) has an outside circumference of at least 500mm measured at ground level where the tree has been cut down or removed, or
- (d) has a branch and foliage crown spread of at least 4 metres

**3.4** Section 4.20 of the DCP states that Arborist Reports submitted to Council are required to be from a minimum AQF Level 5 (Diploma) Consulting Arborist. I confirm that I have the AQF Level 5 Diploma of Arboriculture qualification.

**3.5 The Species:** Japanese Flowering Cherry (*Prunus serrulata* 'Tai-Haku') was thought to be extinct in Japan in the 1920s when an English plant collector, Collingwood Ingram, matched a tree growing in Sussex to a Japanese painting of a white cherry. Japanese cherry trees only blossom for a short period of time, so diverse varieties with different flowering times are often planted together to prolong the blossoming period.

**3.6** Effie Kerr OAM (one of the original instigators of the walk) believed there was a parallel between the history of the Tai Haku to that of the Vietnamese war veteran, who'd been historically ignored in Australia, to such an extent that they were also in danger of becoming extinct (Thom 2024).



**Plate 2:** Japanese Flowering Cherry (*Prunus serrulata* 'Tai-Haku'). (Papervale Trees 2023)

Page | 8    *Moore Trees Arboricultural Report for Cherry Tree Walk, Bowral*

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In optimum conditions this species can grow to six (6) metres tall and the same wide. It performs best in full sun and moist, well-drained soils.

Propagation is through budding or grafting and soft wood cuttings in early summer are possible.

- 3.7** The three hundred and seven (307) specimens of Tai Haku Cherry Trees were assessed for this report. It has been written that there were to be one tree planted for every Australian soldier killed during the Vietnam War which, based on the Australian War Memorial totalled 523 service personnel. To date, there appears to be a deficit of two hundred and sixteen trees. Of the three hundred and seven (307) specimens, eighty four (84) were dead (27%) at the time of inspection.



**Plate 3:** Image showing some of the dead and dying specimens. P. Vezgoff

- 3.8 The Site Trees:** The site was inspected on 30/01/2024 and 7/02/2024. Each tree has been given a unique number for this site and can be viewed on the Tree Location Plans (Appendix 1, Plans 1-8). These plans are not survey accurate and are based on a Six Maps© image. Only trees directly next to the footpath, and around the war memorial monuments, have been assessed for this report.



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- 3.9** The study area extends from Mittagong Road along a 1.6 km concrete footpath through to Boolway Street. The path follows Mittagong Creek that lies at the base of Mount Gibraltar.
- 3.10** In total three hundred and forty four (344) trees were assessed for this report. Of these two (2) species are Sawtooth oak (*Quercus acutissima*), one (1) is English oak (*Quercus robur*) and thirty four are River oak (*Casuarina cunninghamiana*). There were three hundred and seven (307) specimens of Japanese Flowering Cherry (*Prunus serrulata* 'Tai-Haku').
- 3.11** The condition of the site trees varied greatly. Original plantings were obvious by their size as were the replacement plantings that exist along the entire study area. Most of the site trees have been mulched with a ring of mulch extending not further than 500mm for most trees. The mulch was mounded above 100mm in depth (Plate 4).



**Plate 4:** Image showing mulch above the basal flare. P. Vezgoff

- 3.12** Smaller trees that were senescent were clearly dead, as evidenced by the smaller branches that easily snapped when bent. A basic pull test was undertaken on some of the younger trees and found that the root ball could be rotated by hand indicating a sub soil issue with poor root health and vigour.

- 3.13** Some trees had extensive wounding to the trunks, with a degree of wound wood development. My early opinion was that possibly these wounds had been caused by flood events with debris contacting the specimens, however the damage did not correspond with the direction of water flow. Upon speaking with a local of twenty-seven (27) years, she informed me that when the walk was established vandalism occurred on several occasions. The local also stated that the stream did flood and that the water runoff from Mount Gibraltar was extensive in heavy rain events.



**Plate 5:** Image showing Trees 25-29 all with extensive stem wounds. P. Vezgoff

- 3.14 Memorial areas:** The Main Memorial is located to the south of the main car park area near the public swimming pool. The memorial consists of granite towers with brass names plates of those who perished during the war. A group planting of River oak (*Casuarina cunninghamiana*) providing a backdrop for this memorial. These trees were found to be, mostly, in good health and condition. They favour the moisture laden riverbank soils and, as such, have grown into tall healthy specimens that have grown into codominant canopies. Only one specimen was noted as having a structural defect where the two codominant stems are beginning to split (Tree 340, Plate 7). This tree is several metres away from the memorial area.



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- 3.15** A small garden area next to the granite towers contains four (4) small Cherry tree specimens. One (1) tree is older than the other three (3) trees. The other three (3) trees appear to have been planted in the last 2-3 years. All four (4) are in good health and condition (Plate 9). They have underplanted with Rosemary (*Salvia Rosmarinus*) bushes, which is often associated with ANZAC Day.



**Plate 6:** Image showing the Main Memorial area. P. Vezgoff



**Plate 7:** Image showing Tree 340 with an active crack. P. Vezgoff

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- 3.16 8 RAR Memorial:** The 8 Royal Australia Regiment Memorial area is surrounded by Trees numbered as Trees 188 to Trees 199. This memorial area contains a small stone monument surround by lawn area. Several of the Cherry trees have died in this area. Two (2) mature specimens of Sawtooth oak (*Quercus acutissima*) are present, and both are in good health and condition.



**Plate 8:** Image showing the 8 RAR Memorial. The Sawtooth oak (*Quercus acutissima*) to the right and centre of the image. P. Vezgoff



**Plate 9:** Young specimens near the granite towers. P. Vezgoff



- 3.17 Soil compaction:** A simple soil compaction test was undertaken with a metal spike around trees numbered Trees 8 to Trees 14. The soil in the entire area probed was found to be highly compacted, as evidenced by the probe only being possible to push 100mm to 150mm in depth. One hole was excavated between Trees 9 and 10. The hole was excavated to a depth of 150mm when solid compacted clay was reached (Plate 10).



**Plate 10:** Image showing the soil test hole. P. Vezgoff

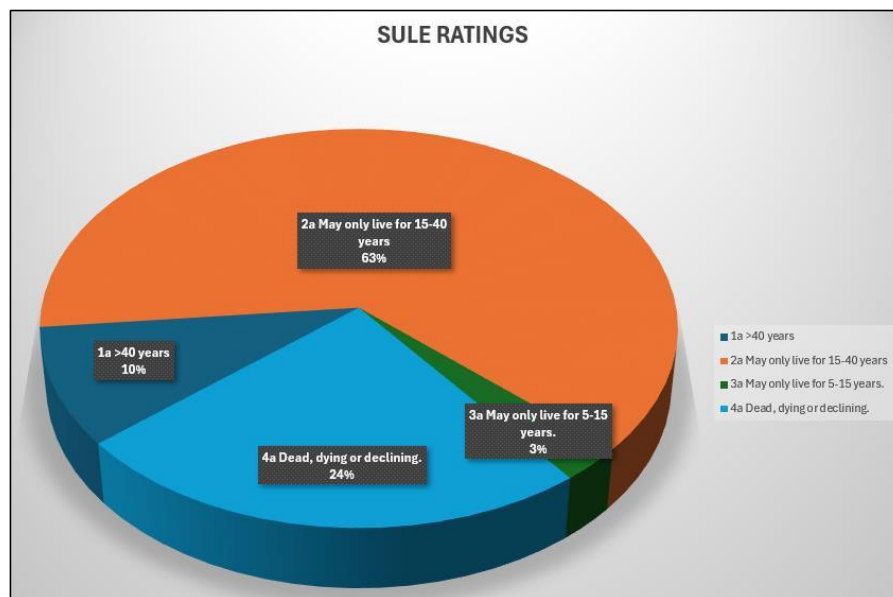
- 3.18 Soil pH:** Three soil pH tests were undertaken from the base of Trees 299, 208 and 167. The tests revealed the pH to generally be between 5 and 6.5, that being a slightly acid soil.



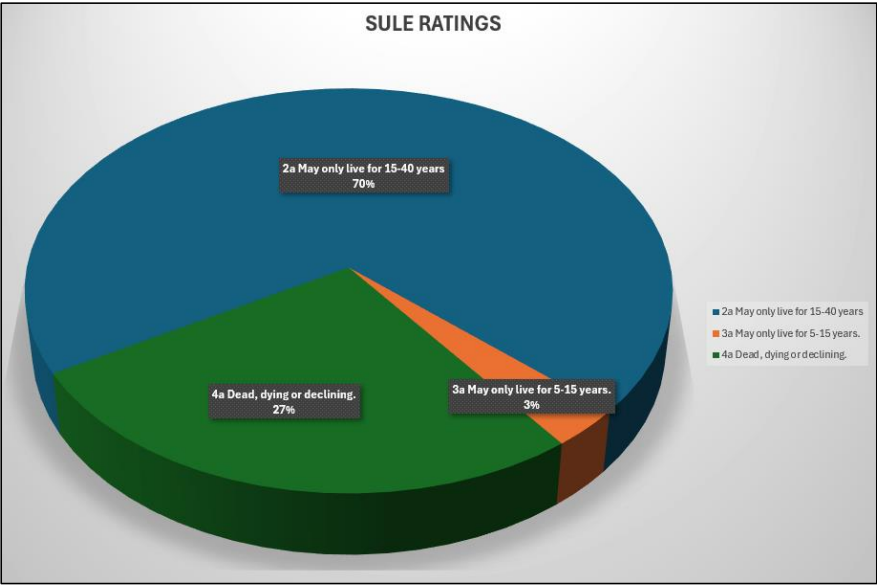
**Plate 11:** Image showing one of the soil pH test results. P. Vezgoff

- 3.19 Surface hydrology:** The walkway follows the Mittagong Creek. As such, the study area would be considered to be part of a “Fluvial” system. The Fluvial process sculpts the landscape, eroding landforms, transporting sediment, and depositing it to create new landforms. Water along Mittagong Creek is controlled by a combination of manmade piped areas and culverts along with levee banks and areas of talus deposits. As seen in the 2022 flood events, this area can become totally saturated taking weeks and even months to dry out. This natural system of water flow will be important when discussing the impacts and future ramifications of the *phytophthora* that has been found on site.
- 3.20 Disease:** Soil testing was undertaken for disease diagnosis on the subject site in 2011. A Report by Botanic Gardens Trust (BGT), Sydney is attached in Appendix 4 showing results and positive samples found *Pythium* and *Phytophthora* species.
- 3.21** *Pythium* is a genus of parasitic oomycetes. Many *Pythium* species, along with their close relatives *Phytophthora*, are plant pathogens of economic importance in agriculture. *Pythium* spp. tend to be very generalistic and unspecific in their large range of hosts, while *Phytophthora* sp. are generally more host-specific. *Pythium* is not considered a serious issue for woody plants, but its impacts can be very bad for seeding stock in agriculture. As such, the *Pythium* is not considered an issue for the site trees.
- 3.22** The Department of Climate Change, Energy the Environment and Water (DCCEEW) states; *Phytophthora* as a *Key threatening process*. '*Dieback caused by the root-rot fungus Phytophthora cinnamomi*' is listed as a *key threatening processes* under the *Commonwealth Environment Protection and Biodiversity Conservation Act 1999*. Since its listing, further research has determined that *Phytophthora cinnamomi* is a water mould and not a fungus.

**3.23 Safe Useful Life Expectancy (SULE)** is a method of evaluating individual trees. The evaluation is a subjective assessment, not an absolute judgement, because the nature of trees and opinions on trees can vary greatly. SULE assessments are made only by those who are experienced and knowledgeable in tree management. SULE is generally accepted and used world-wide as a method of evaluating trees. Each category has a number of sub-categories. These sub-categories should always be recorded to help future users of the information appreciate the reason for each allocation decision. It is normal to have instances where trees will not fit neatly into a single SULE category. The assessment of the site trees can be seen in Graphs 1 and 2. Based on the site age and current condition of the site trees I have not rated any Cherry tree greater than 2a (15-40 years). However, it should be noted that the *Casuarina* species do skew the results due to their 1a rating. As such, Graph 1 shows the SULE ratings including the *Casuarina* species and Graph 2 without.



**Graph 1:** SULE ratings for the site including the *Casuarina* species.



**Graph 2:** SULE ratings for the site not including the *Casuarina* species.



#### **4. DISCUSSION**

- 4.1** The future management of the site's signature trees is not straight forward and would appear to require a long-term strategic plan to be implemented and followed. The requirements will likely outlast Council staff employment periods (20+ years), and such should be readily available, easy to understand and to implement over a number of years.
- 4.2** The greatest threat to the site trees would appear to be the *Phytophthora* followed by ongoing management practices, such as under mulching (but mulching too thick) and lawn maintenance that increases compaction with time. Extending mulched areas will be beneficial to the overall soil condition and tree health.
- 4.3** I am not aware of how much has been spent on replacement plantings since the inception of the walk, however in my time assessing the site it is clearly a favourite walk for people of all ages and throughout the entire day. The walks value to remembering the 523 dead military personnel is as symbolic as the Cherry tree flower itself, falling at the peak of its beauty. Although other species could be considered for these harsh growing conditions it would be difficult to find a tree species of equal relevance.
- 4.4** The importance of the site is also detailed in the Statement of Hertiage report by Louise Thom, which states; *The memorial has rarity value. Whilst there are other cherry tree avenues of honour such as the one in Cowra, the Vietnam War Memorial avenue of honour is believed to be the only Taihaku avenue in Australia and is certainly the only avenue of cherry trees that form a Vietnam War Memorial avenue of honour. The memorial is one of only a few Vietnam War Memorials that carries the names of all those who died in the conflict. It is the only Vietnam War Memorial in the southern highlands and the only avenue of honour of such a length.*
- 4.5** To continue with the same species, a program of succession growing would be required. Removal and replacement could become a regularly programmed, and even an annual event, where returned soldiers are allowed to replace specimens along the walk, allowing the military remembrance to continue. Succession plantings should be grown off site and retained at the council nursery or even at a local private nursery.

- 4.6** Should succession growing be an option, some indicative costings might include the tree itself, storage of the stock, some ongoing soil pathology testing (approximately \$300 per test on a sliding scale) prior to planting. It would be a process not much different than removal and replacement of street trees throughout the LGA. I note that the minimum land rate for a resident of Wingecarribee Shire is set at \$1266.97. I estimate that it would only take a handful of land rates to allow this succession program to be implemented. For my research into this project, I spoke with Council representative Charlene Ferguson (Team leader, Tree Management) about the current management processes for the site (See Section 6, Recommendations 6.2) which are acceptable, but could be improved through a dedicated budget.

**5. DISEASE CONTROL MEASURES**

- 5.1** There are hundreds of soil pathogens and fungal diseases throughout the world and several that are prevalent on the east coast of Australia affecting a broad range of flora. It is estimated that only 15% of fungi in Australia have been identified (Royal Botanic Gardens 2024).
- 5.2** *Phytophthora cinnamomi* is a microscopic soil borne organism, invisible to the naked eye, which causes root rot in a wide variety of plant species including many native and introduced plants and trees. There is no way of visually telling if the pathogen is present in the soil. *Phytophthora cinnamomi* requires moist soil conditions and warm temperatures to be active, but damage caused by the disease most often occurs in summer when plants are drought stressed. Infection often results in the death of the plant (RBG, 2012).
- 5.3** *Phytophthora cinnamomi* is pathogenic on at least 805 plant species. Nearly half of these are indigenous to native plant communities in Australia. It is noted that in South-Eastern forests *E. sideroxylon*, *E. viminalis*, *E. ovata* and *E. goniocalyx* are apparently highly resistant to this disease (Keane, Kile, Podger & Brown, 2000) however, this report is only assessing the impacts to the site Cherry trees.
- 5.4** The Department of Climate Change, Energy the Environment and Water (DCCEEW) has detailed control measures, however they have a focus on native bushland. The Vietnam War Memorial Cherry Tree Walk site is a totally different situation, in that it is located within an urban environment with heavy pedestrian use and constant turf management practices.

**5.5 Phytophthora Root Rot control methods.** At present, there is no one simple method for controlling *Phytophthora cinnamomi*. A combination of sanitation measures, good horticultural management, selective use of some fungicides and the addition of organic matter to soils can be used to retard the activity of *Phytophthora*.

**5.6 Prevention Measures**

**(a) Soil preparation:** Regardless of whether the pathogen is present in a soil it is important to add quantities of organic matter such as mulches, manures, and composted material to the area (if this is appropriate to the plant species). These components increase the level of soil micro-organisms, such as fungi (eg. *Trichoderma*), actinomycetes and bacteria, which suppress the activity of *Phytophthora* and retard disease development. Mulches also minimise the contact between soil and footwear so that there is less potential for the transport of soil. Ensure that drainage is adequate to prevent water logging, which promotes disease incidence and severity. All run-off water from known infected sites should be contained and directed to the storm water channels. Water can very easily transport *Phytophthora cinnamomi*.

**(b) Prevention and caring of infected plants:** Fungicides containing potassium phosphonate are registered for control of this disease in certain situations. Plants should never be moved from an infected site to an uninfected site. When removing plants it is essential to remove as much of the dead tissue, including roots, as possible. The pathogen may persist in dead tissue for many years.

**(c) Hygiene:** Sanitation of tools, machinery and boots is probably the most effective means by which the spread of *Phytophthora cinnamomi* can be limited. Spades and other tools should always be washed free of soil before and between plantings. In addition, tools should be regularly drenched in a solution of 70% methylated spirits and water or diluted household bleach. Wherever possible, soil should be removed from boots and tyres to limit the movement of soil and the fungus. Vehicle movements, if required, within infected areas should be kept to a minimum and be washed down after working in these areas before use in clean areas.

- 5.7** The RBG report (Appendix 3) states; *“Prunus species are reported as being susceptible to Phytophthora. Therefore Phytophthora is highly likely to be the cause of the cherry tree decline control of Phytophthora is not always successful in this situation. We recommend removing the dead cherry trees, and the soil associated with the roots where possible and taking care not to spread the soil to an affected areas. The area around the dead trees should be drenched with metalaxyl or furalaxyl. As Phytophthora can be spread through contaminated soil and free water. It may be prudent to treat adjacent and any symptomatic trees with phosphonate. The manufacturer’s instructions should be followed for this with further doses in 4 to 5 weeks’ time. It is important to undertake this process only if the soil is saturated, or if rain is expected, improving plant health may reduce the susceptibility of unaffected trees. Plant health can be improved with the application of organic fertilizers and root growth promoter, such as Seasol®, combined with deep watering whenever possible.”*

**6. RECOMMENDATIONS**

- 6.1** The risk of occurrence of the establishment of soil pathogens and fungal diseases can be reduced but ultimately difficult to fully protect from. It should be remembered that these diseases are natural processes whether introduced (*Phytophthora*) or not. A common factor in the spread of many of this disease is hygiene and maintaining good plant vigour and health in the first place. As the controls show, there are limited treatments once this disease has established.
- 6.2** Council currently has a replacement processes in place. The current process, as discussed with Council representative Tree Management Team leader Charlene Ferguson of offsite propagation is recommended to continue. Currently, there are 30-50 new trees being grown by the company Specialty Trees (Victoria). Due to the difficulty in the propagation of this species it is required to be carried out by this company. As the species is grafted the root stock is known as F12/1 which I have been informed is more resilient to *Phytophthora*. Root stock 'F 12/1' is a clonally propagated selection of 'Mazzard' and favoured over to 'Mazzard' due to its uniformity and resistance to bacterial canker. 'Maxma 14' (P. mahaleb × P. avium) is a clonal selection of P. mahaleb and originated from an open-pollinated 'Mahaleb' tree (F.A. Canlı\* and F. Demir, 2014). Treatment of the soils with Phosphonate is also occurring. These existing practices are all beneficial for the management of the *Phytophthora*.
- 6.3** Based on my data collected, this quantity of 30-50 new trees being grown should be doubled.
- 6.4** Australian Standards relevant to this report are AS 4373 (2007) *Pruning of Amenity Trees*, AS 4970 (2009), *Compost, Soil Conditioners & Mulches*. These two (2) Standards both have important specifications and procedures that should be implemented so as to help restrict the spread of this disease and potentially other diseases.



- 6.5 AS 4373 (2007) *Pruning of Amenity Trees*.** This Standard has been available for some time now and although quoted frequently its governance leaves more to be desired. This Standard provides well researched specifications on pruning techniques that should be implemented at all times. Bodies responsible for the monitoring of works have a responsibility to ensure that pruning works are undertaken in accordance with this standard. Poor pruning techniques greatly encourage the establishment of pest and disease along with tool hygiene.
- 6.6 AS 4454 (2012) *Compost, Soil Conditioners & Mulches*** *The objective of this Standard is to provide manufacturers, suppliers, customers and government bodies with the minimum requirements for the physical, chemical and biological properties of composts, soil conditioners, mulches and vermicast, as well as labelling and marking, in order to facilitate the beneficial recycling and use of compostable organic materials with minimal adverse impact on environmental and public health, by avoiding biosecurity and phytotoxicity risks associated with inappropriate products (AS4454, 2012).* It is strongly recommended that the Contractors or staff who maintain the Cherry Tree Walk obtain and familiarise themselves with these Standards in order to help reduce the risk of contamination of the soil pathogens and fungal diseases to the site.
- 6.7 Mulching:** With regards to *P.cinnamomi*, the root zone below each tree should be kept mulched in order to maintain soil microbe activity with a combined leaf and wood chipped based mulch. It was noted that several specimen trees were mulched around the base, which is good horticultural practice however, ideally, the mulch should be spread to the drip line. Exposed woody surface roots should also be covered with mulch so as to reduce the chance of mechanical damage to these roots. To ensure a good environment for soil microbes, mulch particles need to be larger than 16mm, but no larger than 30mm (Pittaway, 2012). A good quality mulch supplier should be able to provide this information on their products. For more detailed information on mulch specifications please refer to AS4454, 2012.

Mulching to the drip line will also help reduce soil compaction from mowing practices, thus helping fine feeder roots grow.

- 6.8 Mapping:** With any serious pest or disease, the mapping of the locations should occur so as to provide a quick visual reference and maintain a record of confirmed or possible affected areas with the site. This could be included in any Council asset management system. I am aware Council has recently instigated the Tree Plotter® asset management system. It should be possible to map the infected areas against the tree locations with this software. The previous pathology report was completed in 2011 and as such is quite old. Updated testing is recommended along the entire length of the walk or between each street section.
- 6.9** The following three (3) step system can also help deal with *Phytophthora*. These three (3) key elements below should be followed within Council. They are detailed as follows; Prevention, Preparedness and emergency response, and Ongoing management.
- 6.10 Prevention (mitigate risk of new outbreaks):** Garden beds should be kept mulched in order to maintain soil microbe activity Ideally the mulch should be spread to the drip line of any tree. Avoid water logging and general plant stress. All tools used for pruning should be cleaned before and after use with 70% methylated spirits and water or diluted household bleach in order to sterilize tools. Any symptoms of this disease should be tested immediately to confirm its presence. Positive identification shall be mapped onto a Disease Location Map. All horticultural and arboricultural field staff should be made aware of any infected areas upon site induction. Prevention is obviously difficult when the site is already colonised.
- 6.11 Preparedness and emergency response (define the process which needs to be in place to respond to new outbreaks):** Confirmation of the disease should be undertaken through scientific testing. If identified the disease should be mapped onto a Disease Location Map. Affected trees will die quickly so their removal shall be undertaken so as not to leave infected wood particles in the soil as best as possible. The infected tree will be taken to a landfill site and not mulched on site.

**6.12 Ongoing management (have the appropriate arrangements to be in place for the ongoing management of pest and diseases that become established):** Fungicides that contain potassium phosphonate are registered for control of this disease. The manufacturer's instructions shall be followed for this type of application.

**6.13** A defined area of curtilage should be implemented to provide a boundary for the heritage listing. This will help ensure that there is a clearance zone to prevent other plantings occurring too close to the subject Cherry trees. An approximate distance of 4.8 metres from the centre line of the path will be enough to encompass the existing Cherry trees and their canopies. The scattered Cherry trees around the monument areas should have a two (2) metre radial clearance around each tree.

If you have any questions in relation to this report please contact me.



**Paul Vezgoff**

Consulting Arborist

Dip Arb (Dist), Arb III, Hort cert, AA, ISA

7 March 2024



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**Appendix 1**

**Plan 1**


**Tree Location Plans**



**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Joins Plan 3




Moore Trees

**Tree Location Plan**

MOORE TREES

**Plan 2**



Trees not survey accurate

Date: 10.02.24  
 Drawn: P.Vezgoff  
 Site Address: Cherry Tree Walk  
 Bowral NSW





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**Appendix 2**

**Tree health & condition  
assessment schedule**

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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**TREE HEALTH AND CONDITION ASSESSMENT SCHEDULE – Cherry Tree Walk, Bowral**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
1	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.26	0.36	92	2a May only live for 15-40 years	Good	Mature		3.1	2.1
2	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.4	0.5	0.09	0.1	0	4a Dead, dying or declining.	Dead	Dead		1.1	1.2
3	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.4	0.5	0.09	0.1	0	4a Dead, dying or declining.	Dead	Dead		1.1	1.2
4	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.4	0.5	0.09	0.1	95	2a May only live for 15-40 years	Good	Mature		1.1	1.2
5	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.17	0.27	92	2a May only live for 15-40 years	Good	Mature		2	1.8
6	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.15	0.25	92	2a May only live for 15-40 years	Good	Mature		1.8	1.8
7	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.4	0.5	0.09	0.1	0	4a Dead, dying or declining.	Dead	Dead		1.1	1.2
8	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	1.9	0.03	0.03	0.05	95	2a May only live for 15-40 years	Good	Sapling		0.4	0.9
9	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	1.9	0.03	0.03	0.05	95	2a May only live for 15-40 years	Good	Sapling		0.4	0.9
10	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.03	0.05	0	4a Dead, dying or declining.	Dead	Sapling		0.4	0.9
										Large section of damaged main stem on the western side of the trunk cracking splitting for a damage poor wound wood development		
11	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3	1	0.2	0.3	80	3a May only live for 5-15 years.	Fair	Mature		2.4	1.9
12	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	0.5	0.06	0.1	90	2a May only live for 15-40 years	Good	Mature	Treat on slight lean. lower stem wind	0.7	1.2

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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
13	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3	1	0.2	0.3	80	3a May only live for 5-15 years.	Fair	Mature	Large section of damaged main stem on the western side of the trunk cracking splitting for a damage poor wound wood development. On lean	2.4	1.9
14	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.26	0.36	92	2a May only live for 15-40 years	Good	Mature		3.1	2.1
15	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.19	0.36	92	2a May only live for 15-40 years	Good	Mature		2.3	2.1
16	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.36	92	2a May only live for 15-40 years	Good	Mature		2.4	2.1
17	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.19	0.29	0	4a Dead, dying or declining.	Dead	Dead		2.3	1.9
18	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.36	92	2a May only live for 15-40 years	Good	Mature		2.4	2.1
19	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.19	0.29	0	4a Dead, dying or declining.	Dead	Overmature		2.3	1.9
20	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.15	0.25	0	4a Dead, dying or declining.	Dead	Overmature		1.8	1.8
22	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	2	0.16	0.26	95	2a May only live for 15-40 years	Good	Mature		1.9	1.8
23	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.03	0.05	0	4a Dead, dying or declining.	Dead	Sapling		0.4	0.9
24	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.06	0.09	0.1	95	2a May only live for 15-40 years	Fair	Mature	long wound on main stem	1.1	1.2
25	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.06	0.09	0.1	95	2a May only live for 15-40 years	Fair	Mature	long wound on main stem	1.1	1.2
26	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.06	0.09	0.1	95	2a May only live for 15-40 years	Fair	Mature	long wound on main stem	1.1	1.2
27	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.06	0.09	0.1	95	2a May only live for 15-40 years	Fair	Mature	long wound on main stem	1.1	1.2

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
28	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.06	0.09	0.1	95	2a May only live for 15-40 years	Fair	Mature	long wound on main stem	1.1	1.2
29	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.06	0.09	0.1	95	2a May only live for 15-40 years	Fair	Mature	long wound on main stem	1.1	1.2
30	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.06	0.09	0.1	95	2a May only live for 15-40 years	Fair	Mature	long wound on main stem	1.1	1.2
31	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.06	0.09	0.1	95	2a May only live for 15-40 years	Fair	Mature	long wound on main stem	1.1	1.2
32	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.22	0.32	92	2a May only live for 15-40 years	Good	Mature		2.6	2
33	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.03	0.05	0	4a Dead, dying or declining.	Dead	Sapling		0.4	0.9
34	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.4	2.1	0.15	0.2	90	3a May only live for 5-15 years.	Fair	Mature	Extensive stem wounds and Borat damage	1.8	1.6
34	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.19	0.36	0	4a Dead, dying or declining.	Dead	Overmature		2.3	2.1
35	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.19	0.36	0	4a Dead, dying or declining.	Dead	Overmature		2.3	2.1
36	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.1	0.25	0	4a Dead, dying or declining.	Dead	Overmature		1.2	1.8
37	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.03	0.05	0	4a Dead, dying or declining.	Dead	Sapling		0.4	0.9
38	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.16	0.26	92	2a May only live for 15-40 years	Good	Mature		1.9	1.8
39	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.17	0.27	95	2a May only live for 15-40 years	Good	Mature	Lower mechanical stem wound	2	1.8
40	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2
41	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.24	0.34	95	2a May only live for 15-40 years	Good	Mature		2.9	2
42	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.24	0.34	95	2a May only live for 15-40 years	Good	Mature		2.9	2

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
43	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.18	0.28	95	2a May only live for 15-40 years	Good	Mature		2.2	1.9
44	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.18	0.28	95	2a May only live for 15-40 years	Good	Mature		2.2	1.9
45	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.18	0.28	95	2a May only live for 15-40 years	Good	Mature		2.2	1.9
46	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.27	0.37	95	2a May only live for 15-40 years	Good	Mature		3.2	2.1
47	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.27	0.37	95	2a May only live for 15-40 years	Good	Mature		3.2	2.1
48	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.27	0.37	95	2a May only live for 15-40 years	Good	Mature		3.2	2.1
49	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.07	0.1	0	4a Dead, dying or declining.	Dead	Sapling		0.8	1.2
50	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3	1.8	0.18	0.2	0	4a Dead, dying or declining.	Dead	Overmature		2.2	1.6
51	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3	1.8	0.18	0.2	0	4a Dead, dying or declining.	Dead	Overmature		2.2	1.6
52	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.04	0.1	0	4a Dead, dying or declining.	Dead	Sapling		0.5	1.2
53	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.27	0.37	95	2a May only live for 15-40 years	Good	Mature		3.2	2.1
54	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
55	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2	0.1	0.2	95	2a May only live for 15-40 years	Good	Mature		1.2	1.6
56	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
57	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
58	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.18	0.28	95	2a May only live for 15-40 years	Good	Mature		2.2	1.9

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
59	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.18	0.28	95	2a May only live for 15-40 years	Good	Mature		2.2	1.9
60	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.15	0.25	95	2a May only live for 15-40 years	Good	Mature		1.8	1.8
61	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.18	0.28	95	2a May only live for 15-40 years	Good	Mature		2.2	1.9
62	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2	0.1	0.2	95	2a May only live for 15-40 years	Good	Mature	Slightly damaged canopy do you to fallen tree	1.2	1.6
63	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
64	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
65	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
66	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.18	0.28	95	2a May only live for 15-40 years	Good	Mature		2.2	1.9
67	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
68	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.26	0.36	95	2a May only live for 15-40 years	Good	Mature		3.1	2.1
69	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.26	0.36	95	2a May only live for 15-40 years	Good	Mature		3.1	2.1
70	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.26	0.36	95	2a May only live for 15-40 years	Good	Mature		3.1	2.1
71	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
72	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
73	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.03	0.05	0	4a Dead, dying or declining.	Dead	Sapling		0.4	0.9
74	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2	0.14	0.2	95	2a May only live for 15-40 years	Good	Mature	Suppressed under large Ash tree	1.7	1.6



**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
75	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.07	0.1	0	4a Dead, dying or declining.	Dead	Sapling		0.8	1.2
76	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2	0.16	0.17	95	2a May only live for 15-40 years	Good	Mature	Suppressed under large Ash tree	1.9	1.5
77	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.8	0.13	0.5	0	4a Dead, dying or declining.	Dead	Mature		1.6	2.4
78	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.8	0.13	0.5	0	4a Dead, dying or declining.	Dead	Mature		1.6	2.4
79	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.8	0.13	0.5	0	4a Dead, dying or declining.	Dead	Mature		1.6	2.4
80	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.8	0.13	0.5	0	4a Dead, dying or declining.	Dead	Mature		1.6	2.4
81	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.8	0.13	0.5	0	4a Dead, dying or declining.	Dead	Mature		1.6	2.4
82	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.8	0.13	0.5	0	4a Dead, dying or declining.	Dead	Mature		1.6	2.4
83	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2	0.14	0.24	90	2a May only live for 15-40 years	Good	Mature		1.7	1.8
84	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2	0.14	0.24	90	2a May only live for 15-40 years	Good	Mature		1.7	1.8
85	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2	0.14	0.24	90	2a May only live for 15-40 years	Good	Mature		1.7	1.8
86	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
87	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
88	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
89	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.8	0.14	0.24	95	2a May only live for 15-40 years	Good	Mature		1.7	1.8
90	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.8	0.14	0.24	95	2a May only live for 15-40 years	Good	Mature		1.7	1.8

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
91	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
92	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
93	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
94	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2	0.12	0.13	70	3a May only live for 5-15 years.	Good	Mature	Suppressed by large mature oak tree	1.4	1.4
95	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
96	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.05	0.1	95	2a May only live for 15-40 years	Good	Sapling		0.6	1.2
97	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.03	0.05	0	4a Dead, dying or declining.	Dead	Sapling		0.4	0.9
98	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
99	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
100	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	1	0.1	0.2	95	2a May only live for 15-40 years	Good	Mature		1.2	1.6
101	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	1	0.15	0.25	95	2a May only live for 15-40 years	Good	Mature		1.8	1.8
102	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.23	0.33	95	2a May only live for 15-40 years	Good	Mature		2.8	2
103	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.17	0.27	95	2a May only live for 15-40 years	Good	Mature		2	1.8
104	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.17	0.27	95	2a May only live for 15-40 years	Good	Mature		2	1.8
105	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.14	0.2	95	2a May only live for 15-40 years	Good	Mature		1.7	1.6
106	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.17	0.27	95	2a May only live for 15-40 years	Good	Mature		2	1.8

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
107	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.5	0.08	0.2	95	2a May only live for 15-40 years	Good	Sapling		1	1.6
108	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.5	0.08	0.2	95	2a May only live for 15-40 years	Good	Sapling		1	1.6
109	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.17	0.27	95	2a May only live for 15-40 years	Good	Mature		2	1.8
110	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.17	0.27	95	2a May only live for 15-40 years	Good	Mature		2	1.8
111	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.15	0.2	95	2a May only live for 15-40 years	Good	Mature		1.8	1.6
112	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.17	0.27	95	2a May only live for 15-40 years	Good	Mature		2	1.8
113	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.19	0.25	95	2a May only live for 15-40 years	Good	Mature		2.3	1.8
114	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.19	0.25	95	2a May only live for 15-40 years	Good	Mature		2.3	1.8
115	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.19	0.25	95	2a May only live for 15-40 years	Good	Mature		2.3	1.8
116	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.19	0.25	95	2a May only live for 15-40 years	Good	Mature		2.3	1.8
117	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.19	0.25	95	2a May only live for 15-40 years	Good	Mature		2.3	1.8
118	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.19	0.25	95	2a May only live for 15-40 years	Good	Mature		2.3	1.8
119	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.19	0.25	95	2a May only live for 15-40 years	Good	Mature		2.3	1.8
120	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	1.5	0.11	0.2	95	2a May only live for 15-40 years	Good	Mature		1.3	1.6
121	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.19	0.25	95	2a May only live for 15-40 years	Good	Mature		2.3	1.8
122	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
123	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2
124	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2
125	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2
126	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.12	0.2	95	2a May only live for 15-40 years	Good	Mature		1.4	1.6
127	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.15	0.2	95	2a May only live for 15-40 years	Good	Mature		1.8	1.6
128	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.15	0.2	95	2a May only live for 15-40 years	Good	Mature		1.8	1.6
129	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.4	0.15	0.2	95	2a May only live for 15-40 years	Good	Mature		1.8	1.6
130	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.2	0.3	0	4a Dead, dying or declining.	Dead	Overmature		2.4	1.9
131	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.2	0.3	0	4a Dead, dying or declining.	Dead	Overmature		2.4	1.9
132	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.2	0.3	0	4a Dead, dying or declining.	Dead	Overmature		2.4	1.9
133	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.2	0.3	0	4a Dead, dying or declining.	Dead	Overmature		2.4	1.9
134	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.23	0.33	95	2a May only live for 15-40 years	Good	Mature		2.8	2
135	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.23	0.33	95	2a May only live for 15-40 years	Good	Mature		2.8	2
136	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.1	0.22	0.32	0	4a Dead, dying or declining.	Dead	Overmature		2.6	2
137	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.26	0.36	95	2a May only live for 15-40 years	Good	Mature		3.1	2.1
138	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.28	0.38	95	2a May only live for 15-40 years	Good	Mature		3.4	2.1

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
139	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
140	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
141	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
142	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.28	0.38	95	2a May only live for 15-40 years	Good	Mature		3.4	2.1
143	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
144	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.21	0.31	95	2a May only live for 15-40 years	Good	Mature		2.5	2
145	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2	0.15	0.2	95	2a May only live for 15-40 years	Good	Mature		1.8	1.6
146	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2	0.1	0.2	95	2a May only live for 15-40 years	Good	Mature		1.2	1.6
147	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2	0.15	0.2	95	2a May only live for 15-40 years	Good	Mature		1.8	1.6
148	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2	0.15	0.2	95	2a May only live for 15-40 years	Good	Mature		1.8	1.6
149	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.24	0.34	95	2a May only live for 15-40 years	Good	Mature		2.9	2
150	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.24	0.34	95	2a May only live for 15-40 years	Good	Mature		2.9	2
151	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.24	0.34	95	2a May only live for 15-40 years	Good	Mature		2.9	2
152	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.24	0.34	95	2a May only live for 15-40 years	Good	Mature		2.9	2
153	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.24	0.34	95	2a May only live for 15-40 years	Good	Mature		2.9	2
154	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.24	0.34	95	2a May only live for 15-40 years	Good	Mature		2.9	2

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
155	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.24	0.34	95	2a May only live for 15-40 years	Good	Mature		2.9	2
156	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2
157	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.24	0.34	95	2a May only live for 15-40 years	Good	Mature		2.9	2
158	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2
159	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2
160	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
161	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.12	0.2	95	2a May only live for 15-40 years	Good	Mature		1.4	1.6
162	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.16	0.17	95	2a May only live for 15-40 years	Good	Mature		1.9	1.5
163	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.25	0.35	95	4a Dead, dying or declining.	Dead	Overmature		3	2.1
164	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
165	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.25	0.35	0	4a Dead, dying or declining.	Dead	Overmature		3	2.1
166	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.18	0.28	0	4a Dead, dying or declining.	Dead	Overmature		2.2	1.9
167	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.16	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.9	1.6
168	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.16	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.9	1.6
169	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.16	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.9	1.6
170	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.18	0.28	0	4a Dead, dying or declining.	Dead	Overmature		2.2	1.9



**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
171	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
172	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
173	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	2.3	0.16	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.9	1.6
174	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.14	0.2	95	2a May only live for 15-40 years	Good	Mature		1.7	1.6
175	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.14	0.2	95	2a May only live for 15-40 years	Good	Mature		1.7	1.6
176	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.14	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.7	1.6
177	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.14	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.7	1.6
178	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.14	0.2	95	2a May only live for 15-40 years	Good	Mature		1.7	1.6
179	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.14	0.2	95	2a May only live for 15-40 years	Good	Mature		1.7	1.6
180	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.17	0.2	95	2a May only live for 15-40 years	Good	Mature		2	1.6
181	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.11	0.2	95	2a May only live for 15-40 years	Good	Mature		1.3	1.6
182	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.8	2.1	0.14	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.7	1.6
183	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	0.05	0.1	0.2	0	4a Dead, dying or declining.	Dead	Sapling		1.2	1.6
184	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
185	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.2	0.3	0	4a Dead, dying or declining.	Dead	Overmature		2.4	1.9
186	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
187	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.19	0.2	0	4a Dead, dying or declining.	Dead	Overmature		2.3	1.6
188	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.1	2.3	0.19	0.2	95	2a May only live for 15-40 years	Good	Mature		2.3	1.6
189	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.5	2.5	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
190	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.5	2.5	0.2	0.3	0	4a Dead, dying or declining.	Dead	Overmature		2.4	1.9
191	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.03	0.05	0	4a Dead, dying or declining.	Dead	Sapling		0.4	0.9
192	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.8	2.5	0.2	0.3	0	4a Dead, dying or declining.	Dead	Overmature		2.4	1.9
193	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.06	0.08	0	4a Dead, dying or declining.	Dead	Sapling		0.7	1.1
194	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.8	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
195	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3	2	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
196	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.8	2.1	0.14	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.7	1.6
197	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.8	2.1	0.14	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.7	1.6
198	Sawtooth oak ( <i>Quercus acutissima</i> )	11	6	0.52	0.62	95	2a May only live for 15-40 years	Good	Mature		6.2	2.6
199	Sawtooth oak ( <i>Quercus acutissima</i> )	11	6	0.54	0.64	95	2a May only live for 15-40 years	Good	Mature		6.5	2.7
200	English oak ( <i>Quercus robur</i> )	14	11	0.59	0.69	95	2a May only live for 15-40 years	Good	Mature		7.1	2.7
201	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1	0.1	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.2	1.6
202	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	1	0.12	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.4	1.6

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
203	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	1	0.15	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.8	1.6
204	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.23	0.33	92	2a May only live for 15-40 years	Good	Mature		2.8	2
205	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1	0.12	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.4	1.6
206	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.05	0.2	0	4a Dead, dying or declining.	Dead	Sapling		0.6	1.6
207	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.03	0.05	0	4a Dead, dying or declining.	Dead	Sapling		0.4	0.9
208	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1	0.12	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.4	1.6
209	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.05	0.2	0	4a Dead, dying or declining.	Dead	Sapling		0.6	1.6
210	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1	0.12	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.4	1.6
211	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1	0.12	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.4	1.6
212	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.4	2.1	0.11	0.2	95	2a May only live for 15-40 years	Good	Mature		1.3	1.6
213	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	0.5	0.09	0.2	0	4a Dead, dying or declining.	Dead	Overmature		1.1	1.6
214	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.4	2.1	0.19	0.2	95	2a May only live for 15-40 years	Good	Mature		2.3	1.6
215	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	1	0.09	0.1	95	2a May only live for 15-40 years	Good	Mature		1.1	1.2
216	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	0.5	0.05	0.1	90	3a May only live for 5-15 years.	Poor	Mature	Semi-mature specimen extensive stem wounds. poor wound wood development	0.6	1.2
217	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	0.5	0.07	0.1	0	4a Dead, dying or declining.	Dead	Overmature	Semi-mature specimen extensive stem wounds.	0.8	1.2

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
										poor wound wood development		
218	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	0.5	0.05	0.1	90	3a May only live for 5-15 years.	Poor	Mature	Semi-mature specimen extensive stem wounds. poor wound wood development	0.6	1.2
219	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	1.5	0.08	0.1	95	2a May only live for 15-40 years	Good	Mature		1	1.2
220	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	0.5	0.05	0.1	90	3a May only live for 5-15 years.	Poor	Mature	Semi-mature specimen extensive stem wounds. poor wound wood development	0.6	1.2
221	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	1.5	0.06	0.1	95	2a May only live for 15-40 years	Good	Mature		0.7	1.2
222	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	0.5	0.05	0.1	90	3a May only live for 5-15 years.	Poor	Mature	Semi-mature specimen extensive stem wounds. poor wound wood development	0.6	1.2
223	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	0.5	0.05	0.1	90	3a May only live for 5-15 years.	Poor	Mature	Semi-mature specimen extensive stem wounds. poor wound wood development	0.6	1.2
224	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	0.5	0.05	0.1	90	3a May only live for 5-15 years.	Poor	Mature	Semi-mature specimen extensive stem wounds. poor wound wood development	0.6	1.2
225	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
226	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.21	0.31	95	2a May only live for 15-40 years	Good	Mature		2.5	2
227	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
228	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.27	0.37	95	2a May only live for 15-40 years	Good	Mature		3.2	2.1
229	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.27	0.37	95	2a May only live for 15-40 years	Good	Mature		3.2	2.1
230	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.3	0.26	0.36	92	2a May only live for 15-40 years	Good	Mature		3.1	2.1
231	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	0.5	0.06	0.1	90	2a May only live for 15-40 years	Good	Mature	Treat on slight lean. lower stem wind	0.7	1.2
232	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2	0.5	0.03	0.05	0	4a Dead, dying or declining.	Dead	Dead		0.4	0.9
233	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	1.9	0.03	0.03	0.05	95	2a May only live for 15-40 years	Good	Sapling		0.4	0.9
234	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	1.9	0.03	0.03	0.05	95	2a May only live for 15-40 years	Good	Sapling		0.4	0.9
235	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.8	2.1	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
236	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.8	2.1	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
237	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	1.8	0.08	0.1	95	2a May only live for 15-40 years	Good	Sapling		1	1.2
238	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.1	1.8	0.08	0.1	95	2a May only live for 15-40 years	Good	Sapling		1	1.2
239	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.8	2.1	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
240	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.8	2.1	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
241	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	1.5	0.14	0.2	0	4a Dead, dying or declining.	Dead	Dead		1.7	1.6
242	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
243	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
244	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.5	1.2	0.11	0.2	95	2a May only live for 15-40 years	Good	Mature		1.3	1.6
245	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.23	0.33	95	2a May only live for 15-40 years	Good	Mature		2.8	2
246	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.23	0.33	95	2a May only live for 15-40 years	Good	Mature		2.8	2
247	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.5	2	0.15	0.25	0	4a Dead, dying or declining.	Dead	Mature		1.8	1.8
248	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.5	2	0.15	0.25	0	4a Dead, dying or declining.	Dead	Mature		1.8	1.8
249	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3	2	0.17	0.27	95	2a May only live for 15-40 years	Good	Mature		2	1.8
250	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.3	2.3	0.19	0.3	95	2a May only live for 15-40 years	Good	Mature		2.3	1.9
251	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4	2.3	0.13	0.2	95	2a May only live for 15-40 years	Good	Mature		1.6	1.6
252	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2
253	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.22	0.32	95	4a Dead, dying or declining.	Dead	Dead		2.6	2
254	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2
255	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.19	0.2	95	2a May only live for 15-40 years	Good	Mature		2.3	1.6
256	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.3	2.3	0.15	0.2	95	4a Dead, dying or declining.	Dead	Dead		1.8	1.6
257	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.3	2.3	0.11	0.2	95	4a Dead, dying or declining.	Dead	Dead		1.3	1.6
258	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3	2	0.17	0.27	60	4a Dead, dying or declining.	Poor	Mature	Extensive borer damage to the main stem and decay	2	1.8
259	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.26	0.36	0	4a Dead, dying or declining.	Dead	Overmature		3.1	2.1

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**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
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Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
260	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.3	0.4	95	2a May only live for 15-40 years	Good	Mature		3.6	2.2
261	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.26	0.36	95	2a May only live for 15-40 years	Good	Mature	Mower damage to surface roots	3.1	2.1
262	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.26	0.36	95	2a May only live for 15-40 years	Good	Mature		3.1	2.1
263	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.5	2.1	0.17	0.2	0	4a Dead, dying or declining.	Dead	Overmature		2	1.6
264	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.5	2.1	0.16	0.26	95	2a May only live for 15-40 years	Good	Mature		1.9	1.8
265	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.1	2.2	0.19	0.3	95	2a May only live for 15-40 years	Good	Mature		2.3	1.9
266	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
267	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
268	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
269	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.1	2.2	0.19	0.3	95	2a May only live for 15-40 years	Good	Mature		2.3	1.9
270	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.1	2.2	0.19	0.3	95	2a May only live for 15-40 years	Good	Mature		2.3	1.9
271	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.1	2.2	0.19	0.3	95	2a May only live for 15-40 years	Good	Mature		2.3	1.9
272	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
273	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.5	0.09	0.2	95	2a May only live for 15-40 years	Good	Mature		1.1	1.6
274	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.5	0.09	0.2	95	2a May only live for 15-40 years	Good	Mature		1.1	1.6
275	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.5	2.1	0.17	0.2	0	4a Dead, dying or declining.	Dead	Overmature		2	1.6

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
276	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.5	2.1	0.19	0.3	0	4a Dead, dying or declining.	Dead	Overmature		2.3	1.9
277	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.9	2.2	0.2	0.3	95	2a May only live for 15-40 years	Good	Mature		2.4	1.9
278	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.5	0.09	0.2	0	4a Dead, dying or declining.	Dead	Dead		1.1	1.6
279	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.5	2.1	0.2	0.3	0	4a Dead, dying or declining.	Dead	Dead		2.4	1.9
280	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3	2	0.12	0.2	0	4a Dead, dying or declining.	Dead	Dead		1.4	1.6
281	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3	2	0.12	0.2	0	4a Dead, dying or declining.	Dead	Dead		1.4	1.6
282	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.9	2.2	0.17	0.27	95	2a May only live for 15-40 years	Good	Mature		2	1.8
283	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.19	0.2	95	2a May only live for 15-40 years	Good	Mature		2.3	1.6
284	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.23	0.33	95	2a May only live for 15-40 years	Good	Mature		2.8	2
285	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.23	0.33	95	2a May only live for 15-40 years	Good	Mature		2.8	2
286	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.21	0.31	95	2a May only live for 15-40 years	Good	Mature		2.5	2
287	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.3	2.3	0.15	0.2	95	4a Dead, dying or declining.	Dead	Dead		1.8	1.6
288	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.3	2.3	0.15	0.2	95	2a May only live for 15-40 years	Fair	Mature		1.8	1.6
289	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.3	2.3	0.15	0.2	95	2a May only live for 15-40 years	Fair	Mature		1.8	1.6
290	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.3	2.3	0.15	0.2	0	4a Dead, dying or declining.	Dead	Dead		1.8	1.6
291	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	1.8	0.11	0.2	95	2a May only live for 15-40 years	Good	Mature		1.3	1.6

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
292	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	1.8	0.11	0.2	95	2a May only live for 15-40 years	Good	Mature		1.3	1.6
293	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.3	1.5	0.14	0.2	0	4a Dead, dying or declining.	Dead	Dead	Extensive stem wounds and Borer damage	1.7	1.6
294	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.8	2	0.17	0.2	0	4a Dead, dying or declining.	Dead	Dead		2	1.6
295	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	1.8	0.11	0.2	95	2a May only live for 15-40 years	Good	Mature		1.3	1.6
296	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.3	2.3	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
297	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	4.3	2.3	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
298	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	2.2	1.5	0.09	0.2	95	2a May only live for 15-40 years	Good	Mature		1.1	1.6
299	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.4	0.16	0.2	95	2a May only live for 15-40 years	Good	Mature		1.9	1.6
300	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.4	0.21	0.31	95	2a May only live for 15-40 years	Good	Mature		2.5	2
301	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.22	0.32	95	2a May only live for 15-40 years	Good	Mature		2.6	2
302	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.18	0.28	95	2a May only live for 15-40 years	Good	Mature		2.2	1.9
303	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	3.2	2.4	0.25	0.35	95	2a May only live for 15-40 years	Good	Mature		3	2.1
304	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.18	0.28	95	2a May only live for 15-40 years	Good	Mature		2.2	1.9
305	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.18	0.28	95	2a May only live for 15-40 years	Good	Mature		2.2	1.9
306	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.21	0.31	95	2a May only live for 15-40 years	Good	Mature		2.5	2
307	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.21	0.31	95	2a May only live for 15-40 years	Good	Mature		2.5	2

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
308	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.19	0.3	95	2a May only live for 15-40 years	Good	Mature		2.3	1.9
309	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.35	0.45	95	2a May only live for 15-40 years	Good	Mature		4.2	2.3
310	Japanese Flowering Cherry ( <i>Prunus serrulata</i> 'Tai-Haku')	5	2.6	0.33	0.43	95	2a May only live for 15-40 years	Good	Mature		4	2.2
311	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.35	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
312	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.36	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
313	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.37	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
314	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.38	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
315	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.39	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
316	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.40	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
317	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.41	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
318	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.42	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
319	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.43	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
320	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.44	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
321	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.45	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
322	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.46	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
323	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.47	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
324	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.48	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
325	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.49	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
326	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.50	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
327	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.51	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
328	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.52	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
329	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.53	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
330	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.54	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
331	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.55	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
332	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.56	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
333	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.57	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
334	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.58	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
335	Ash ( <i>Fraxinus sp.</i> )	18	8	.15-.59	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
336	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.60	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
337	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.61	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
338	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.62	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
339	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.63	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Tree	Species	Height (m)	Spread (m)	DBH (m)	SRZ basal	Live canopy %	SULE	Condition	Age	Comments	TPZ (m)	SRZ (m)
340	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.64	0.4	95	4c	Poor	Mature	Active crack between two stems	4	2.2
341	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.65	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
342	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.66	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
343	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.67	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2
344	River oak ( <i>Casuarina cunninghamiana</i> )	18	8	.15-.68	0.4	95	1a >40 years	Good	Mature	Dimensions estimated	4	2.2



## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

### KEY

**Tree No:** Relates to the number allocated to each tree for the Tree Plan.

**Height:** Height of the tree to the nearest metre.

**Spread:** The average spread of the canopy measured from the trunk.

**DBH:** Diameter at breast height. An industry standard for measuring trees at 1.4 metres above ground level, this measurement is used to help calculate Tree Protection Zones.

**Live Crown Ratio:** Percentage of foliage cover for a particular species.

<b>Age Class:</b> Young:	Recently planted tree	Semi-mature:< 20% of life expectancy
Mature:	20-90% of life expectancy	Over-mature:>90% of life expectancy

**SULE:** See SULE methodology in the Appendix 3

**Tree Protection Zone (TPZ):** The minimum area set aside for the protection of the trees trunk, canopy and root system throughout the construction process. Breaches of the TPZ will be specified in the recommendations section of the report.

**Structural Root Zone (SRZ):** The SRZ is a specified distance measured from the trunk that is set aside for the protection of the trees roots both structural and fibrous.

**Appendix 3**

**Botanic Gardens Trust, Sydney – Cherry Tree Disease Diagnosis  
(4/03/2011)**

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**



**Botanic Gardens Trust**  
SYDNEY

Science Education  
CONSERVATION  
Horticulture Recreation

**Plant Disease Diagnostic Unit**  
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David Wilson  
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Civic Centre  
Elizabeth Street  
PO Box 141  
Moss Vale  
NSW 2577

4 March 2011

Dear David,

**Cherry Tree Disease Diagnosis (BGT Ref. E11/48)**

We have finished examining the photographs, foliage/stem specimens and have processed the three soil samples from the three Cherry trees (*Prunus serrulata*) for disease diagnosis. Advanced decline and defoliation was observed in the photographs, without an obvious cause. The foliage specimens were too decomposed for fungal isolation. No cankers or lesions were observed on the stem sections. The soil samples were tested for major soil borne fungal plant pathogens. All three samples were positive for *Pythium* and a *Phytophthora* species.

*Pythium* is not considered to be a serious pathogen of mature, woody plants, but it can be a problem for annuals, some vegetable crops or plants that are affected by other factors such as environmental stress. It is therefore highly unlikely to be responsible for the Cherry decline.

The *Phytophthora* species isolated was not the highly pathogenic species *Phytophthora cinnamomi*. However, all *Phytophthora* species are potentially pathogenic given the right environment and host. *Prunus* species are reported as being susceptible to *Phytophthora*. Therefore, *Phytophthora* is highly likely to be the cause of the cherry tree decline. Control of *Phytophthora* is not always successful. In this situation we recommend removing the dead Cherry trees and the soil associated with the roots, where possible, and taking care not to spread soil to unaffected trees. The area around the dead trees should be drenched with metalaxyl or furalaxyl. As *Phytophthora* can be spread through contaminated soil and free water it may be prudent to treat adjacent and any symptomatic trees with phosphonate.

**Royal Botanic Gardens & Domain**  
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Sydney NSW 2000 Australia  
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Botanic Gardens Trust is part of Department of Environment and Climate Change

**AGENDA OF THE ORDINARY MEETING OF COUNCIL  
WEDNESDAY 19 JUNE 2024**

Follow the manufacturer's instructions for dilution rates and apply one dose now, with a further dose in 4-5 weeks' time. It is important not to apply phosphonate when the soil is saturated or if rain is expected. Improving plant health may reduce the susceptibility of unaffected trees. Plant health can be improved with the application of an organic fertiliser and root growth promoter such as Seasol™ combined with deep-watering whenever possible. A thick layer of mulch to improve soil moisture and texture is also recommended.

Please do not hesitate to contact me if you have any questions regarding this report. An invoice for \$240 (plus GST) will be sent to you separately.

Regards,



Dr Edward Liew  
Manager Plant Pathology  
Email: [edward.liew@rbgsyd.nsw.gov.au](mailto:edward.liew@rbgsyd.nsw.gov.au)

## Appendix 4

### SULE categories (after Barrell, 2001)<sup>1</sup>

<b>SULE Category</b>	<b>Description</b>
<i>Long</i>	<i>Trees that appeared to be retainable at the time of assessment for more than 40 years with an acceptable level of risk.</i>
1a	Structurally sound trees located in positions that can accommodate for future growth
1b	Trees that could be made suitable for retention in the long term by remedial tree care.
1c	Trees of special significance that would warrant extraordinary efforts to secure their long term retention.
<i>Medium</i>	<i>Trees that appeared to be retainable at the time of assessment for 15-40 years with an acceptable level of risk.</i>
2a	Trees that may only live for 15-40 years
2b	Trees that could live for more than 40 years but may be removed for safety or nuisance reasons
2c	Trees that could live for more than 40 years but may be removed to prevent interference with more suitable individuals or to provide for new planting.
2d	Trees that could be made suitable for retention in the medium term by remedial tree care.
<i>Short</i>	<i>Trees that appeared to be retainable at the time of assessment for 5-15 years with an acceptable level of risk.</i>
3a	Trees that may only live for another 5-15 years
3b	Trees that could live for more than 15 years but may be removed for safety or nuisance reasons.
3c	Trees that could live for more than 15 years but may be removed to prevent interference with more suitable individuals or to provide for a new planting.
3d	Trees that require substantial remedial tree care and are only suitable for retention in the short term.
<i>Remove</i>	<i>Trees that should be removed within the next five years.</i>
4a	Dead, dying, suppressed or declining trees because of disease or inhospitable conditions.
4b	Dangerous trees because of instability or loss of adjacent trees
4c	Dangerous trees because of structural defects including cavities, decay, included bark, wounds or poor form.
4d	Damaged trees that are clearly not safe to retain.
4e	Trees that could live for more than 5 years but may be removed to prevent interference with more suitable individuals or to provide for a new planting.
4f	Trees that are damaging or may cause damage to existing structures within 5 years.
4g	Trees that will become dangerous after removal of other trees for the reasons given in (a) to (f).
4h	Trees in categories (a) to (g) that have a high wildlife habitat value and, with appropriate treatment, could be retained subject to regular review.
<i>Small</i>	<i>Small or young trees that can be reliably moved or replaced.</i>
5a	Small trees less than 5m in height.
5b	Young trees less than 15 years old but over 5m in height.
5c	Formal hedges and trees intended for regular pruning to artificially control growth.

updated 01/04/01)

<sup>1</sup> (Barrell, J. (2001) "SULE: Its use and status into the new millennium" in *Management of mature trees*, Proceedings of the 4<sup>th</sup> NAAA Tree Management Seminar, NAAA, Sydney.

## **Appendix 5**

# **TPZ and SRZ methodology**

### **Determining the Tree Protection Zone (TPZ)**

The radius of the TPZ is calculated for each tree by multiplying its DBH x 12.

$$\text{TPZ} = \text{DBH} \times 12$$

Where

DBH = trunk diameter measured at 1.4 metres above ground

Radius is measured from the centre of the stem at ground level.

A TPZ should not be less than 2 metres no greater than 15 metres (except where crown protection is required.). Some instances may require variations to the TPZ.

The TPZ of palms, other monocots, cycads and tree ferns should not be less than 1 metre outside the crown projection.

### **Determining the Structural Root Zone (SRZ)**

The SRZ is the area required for tree stability. A larger area is required to maintain a viable tree.

The SRZ only needs to be calculated when major encroachment into a TPZ is proposed.

There are many factors that affect the size of the SRZ (e.g. tree height, crown area, soil type, soil moisture). The SRZ may also be influenced by natural or built structures, such as rocks and footings. An indicative SRZ radius can be determined from the trunk diameter measured immediately above the root buttress using the following formula or Figure 1. Root investigation may provide more information on the extent of these roots.

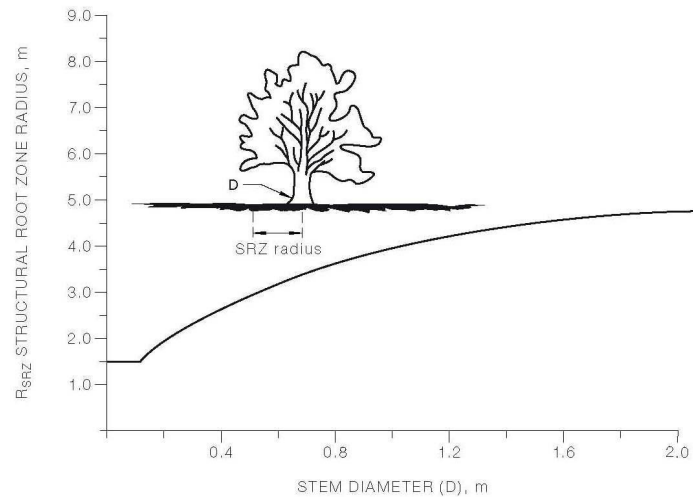
$$\text{SRZ radius} = (D \times 50)^{0.42} \times 0.64$$

Where

$D$  = trunk diameter, in m, measured above the root buttress

NOTE: The SRZ for trees with trunk diameters less than 0.15m will be 1.5m (see Figure 1).





The curve can be expressed by the following formula:  
 $R_{SRZ} = (D \times 50)^{0.42} \times 0.64$

**FIGURE 1 - STRUCTURAL ROOT ZONE**

*Notes:*

- 1  $R_{SRZ}$  is the structural root zone radius.
- 2  $D$  is the stem diameter measured immediately above root buttress.
- 3 The SRZ for trees less than 0.15 metres diameter is 1.5 metres.
- 4 The SRZ formula and graph do not apply to palms, other monocots, cycads and tree ferns.
- 5 This does not apply to trees with an asymmetrical root plate.

Appendix 6

Tree structure information diagram

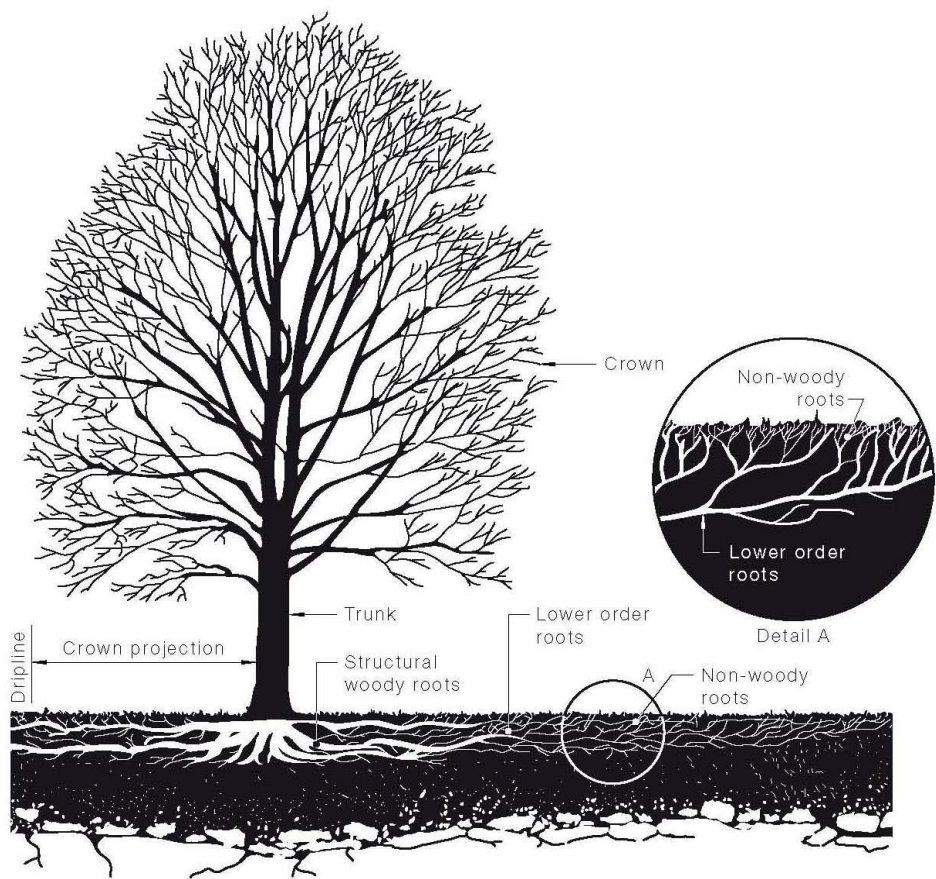


Figure 2: Structure of a tree in a normal growing environment (AS 4970, 2009.).

## **Appendix 7**

### **Explanatory Notes**

- **Mathematical abbreviations:** > = Greater than; < = Less than.
- **Measurements/estimates:** All dimensions are estimates unless otherwise indicated. Less reliable estimated dimensions are indicated with a '?'.
- **Species:** The species identification is based on visual observations and the common English name of what the tree appeared to be is listed first, with the botanical name after in brackets. In some instances, it may be difficult to quickly and accurately identify a particular tree without further detailed investigations. Where there is some doubt of the precise species of tree, it is indicated with a '?' after the name in order to avoid delay in the production of the report. The botanical name is followed by the abbreviation sp if only the genus is known. The species listed for groups and hedges represent the main component and there may be other minor species not listed.
- **Height:** Height is estimated to the nearest metre.
- **Spread:** The maximum crown spread is visually estimated to the nearest metre from the centre of the trunk to the tips of the live lateral branches.
- **Diameter:** These figures relate to 1.4m above ground level and are recorded in metres. If appropriate, diameter is measure with a diameter tape. 'M' indicates trees or shrubs with multiple stems.
- **Estimated Age:** Age is estimated from visual indicators and it should only be taken as a provisional guide. Age estimates often need to be modified based on further information such as historical records or local knowledge.
- **Distance to Structures:** This is estimated to the nearest metre and intended as an indication rather than a precise measurement.

## **Appendix 8**

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Lousie Thom Hertiage Consultant  
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## AGENDA OF THE ORDINARY MEETING OF COUNCIL WEDNESDAY 19 JUNE 2024

### Curriculum Vitae

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#### **EDUCATION and QUALIFICATIONS**

- 2013 / 2018 – ISA TRAQ qualification
- 2007 – Diploma of Arboriculture (AQF Cert V) Ryde TAFE. (Distinction)
- 1997 – Completed Certificate in Crane and Plant Electrical Safety
- 1996 – Attained Tree Surgeon Certificate (AQF Cert II) at Ryde TAFE
- 1990 – Completed two month intensive course on garden design at the Inchbald School of Design, London, United Kingdom
- 1990 – Completed patio, window box and balcony garden design course at Brighton College of Technology, United Kingdom
- 1989 – Awarded the Big Brother Movement Award for Horticulture (a grant by Lady Peggy Pagan to enable horticulture training in the United Kingdom)
- 1989 – Attained Certificate of Horticulture (AQF Cert IV) at Wollongong TAFE

#### **INDUSTRY EXPERIENCE**

##### **Moore Trees Arboricultural Services**

**January 2006 to date**

Tree Consultancy and tree ultrasound. Tree hazard and risk assessment, Arborist development application reports  
Tree management plans.

##### **Woollahra Municipal Council**

**Oct 1995 to February 2008**

ARBORICULTURE TECHNICAL OFFICER

August 2005 – February 2008

ACTING COORDINATOR OF TREES MAINTENANCE

June – July 2005, 2006

Responsible for all duties concerning park and street trees. Prioritising work duties, delegation of work and staff supervision.

TEAM LEADER

January 2003 – June 2005

September 2000 – January 2003

HORTICULTURALIST

October 1995 – September 2000

##### **Northern Landscape Services**

**July to Oct 1995**

Tradesman for Landscape Construction business

##### **Paul Vezgoff Garden Maintenance (London, UK)**

**Sept 1991 to April 1995**

#### **CONFERENCES AND WORKSHOPS ATTENDED**

- TRAQ Conference, Auckland NZ / Sydney (2023)
- International Society of Arboriculture Conference (Canberra May 2017)
- QTRA Conference, Sydney Australia (November 2016)
- International Society of Arboriculture Conference (Brisbane 2008)
- Tree related hazards: recognition and assessment by Dr David Lonsdale (Brisbane 2008)
- Tree risk management: requirements for a defensible system by Dr David Lonsdale (Brisbane 2008)
- Tree dynamics and wind forces by Ken James (Brisbane 2008)
- Wood decay and fungal strategies by Dr F.W.M.R. Schwarze (Brisbane 2008)
- Tree Disputes in the Land & Environment Court – The Law Society (Sydney 2007)
- Barrell Tree Care Workshop- Trees on construction sites (Sydney 2005).
- Tree Logic Seminar- Urban tree risk management (Sydney 2005)
- Tree Pathology and Wood Decay Seminar presented by Dr F.W.M.R. Schwarze (Sydney 2004)
- Inaugural National Arborist Association of Australia (NAAA) tree management workshop- Assessing hazardous trees and their Safe Useful Life Expectancy (SULE) (Sydney 1997).



SYDNEY ARTEFACTS  
CONSERVATION

**Condition Report  
on  
The Vietnam War Memorial  
Cherry Tree Walk, Bowral  
For  
Louise Thom Heritage**



**Anne Cummins  
January 2024**

CONSERVING SCULPTURES, MONUMENTS, HISTORICAL, ARCHITECTURAL & ARCHAEOLOGICAL OBJECTS

T: 02 8096 7584 PO BOX 2164 CLOVELLY NSW 2031 ANNE@ARTCONSERVATION.COM.AU  
ABN: 22 932 501 969



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### **Executive Summary**

Sydney Artefacts Conservation (SAC) was engaged by Louise Thom Heritage to prepare a condition report on The Vietnam War Memorial, Cherry Tree Walk, Bowral, which will form part of a conservation management plan for the Memorial that has been commissioned by Wingecarribee Shire Council. The Memorial comprises nine black granite monoliths which are sited in several locations along the walkway which meanders beside Mittagong Creek. The majority of the monoliths being at the Mittagong Road end, near the Bowral Swimming Centre (Oxley Drive) the main five monoliths in Rivelut Park and the final monolith located at the dead end where Boolwey Street intersects with Mittagong Creek.

The Memorial is dedicated to Australians who died during the Vietnam War, 1962-1973. It was unveiled on 22 August 1999, then following extensive vandalism in 2003, the facing stones and brass plaques were replaced, and it was rededicated on 28 February 2004.

A site visit on 12-13 December 2024 to inspect the Memorial was carried out by Anne Cummins of SAC. The Memorial was at that time in fair condition with various cracks evident on the granite panels on all monoliths apart from one (M1). The most prevalent crack types were an arc shaped crack which arched from join to join at the horizontal edge of the panels and diagonal cracks across the corners. Possible vandalism was only noted on one of the monoliths M9 which is the most remotely located.

Recommendations have been provided for conservation of the Memorial.



Fig 1: M3-M7 the main five monoliths in open circle formation



Fig 2: M3-M7 rear perspective showing surrounding trees

Description

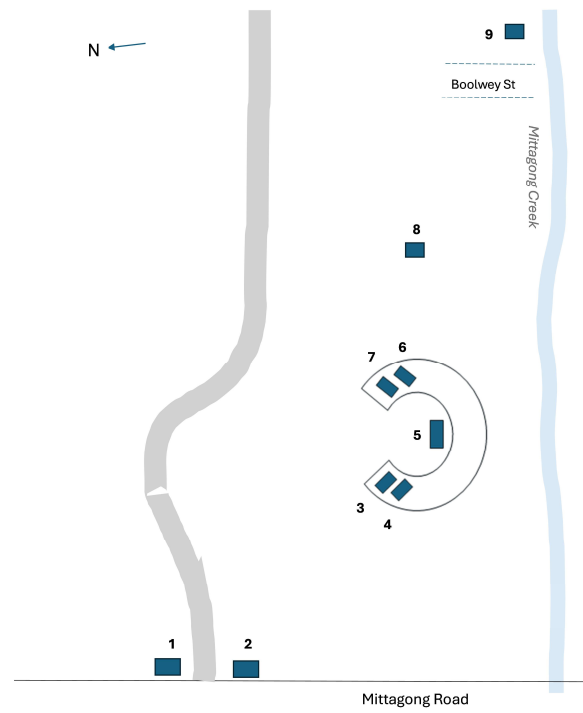
General

The Vietnam War Memorial, Cherry Tree Walk, Bowral (Fig 1) was created by the efforts of the Vietnam War Memorial Cherry Tree Walk Trust committee. It is comprised of nine monoliths with steel reinforced concrete core which are faced with black polished granite with brass plaques listing the names of all Australians who were killed in the Vietnam War.

The monoliths have been numbered arbitrarily for this report M1-M9 (see Table 1).; with M1 being the northern monolith on Mittagong Road, M2 to the south of M1, M3-M7 in an anticlockwise direction from the northwest and M8 along the path towards the east and M9 at the dead end where Boolwey Street intersects Mittagong Creek.

No.	Inscription	Dims HxWxD	Obverse
M1	Vietnam War Memorial Cherry Tree Walk	2400-2500x690x690	west
M2	Vietnam War Memorial Cherry Tree Walk	2445-2500x690x688	west
M3	In Memoriam	2960x1740x430	east
M4	In Memoriam	2960x1740x430	east
M5	Vietnam 1962-1973	3240x1740x430/555	north
M6	In Memoriam	2900x1740x430	west
M7	In Memoriam	2900x1740x430	west
M8	8 RAR 'The Grey Eight'	100/1060x660x660	north
M9	Vietnam War Memorial Cherry Tree Walk	2460x690x690	west

Table 1: Individual Monolith details



Plan 1: Schematic Plan of Cherry Tree Walk, showing numbering of Monoliths, not to scale

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### Condition Report on The Vietnam War Memorial, Cherry Tree Walk, Bowral

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The design, dimensions and inscriptions on M1, M2 and M9 are the same "VIETNAM WAR MEMORIAL/ CHERRY TREE WALK" gold leaf incised letters on the obverse (Figs 3-5). The only difference is that M1 and M2 have a protective stainless steel sheet around the inset base which is joined by rivets at the reverse.



Fig 3: Monolith M1



Fig 4: Monolith M2



Fig 5: Monolith M9

The design, dimensions (minor ground height difference) and heading inscription on M3, M4, M6 and M7 are the same "IN MEMORIAM" in gold leaf incised letters (Figs 6-10).

The central focus of the Memorial comprises five monoliths arranged in an open circle on a slight mound, edged with small bricks inside which cherry trees are planted filled surrounded with bark chips (Figs 1-2).

It was first dedicated on 22 August 1999. Following vandalism and water ingress problems, the granite facings and brass honour roll plaques were replaced in 2003, and the Memorial was re-dedicated on 28 February 2004. At which time the three monoliths (M1, M2 & M9) that mark the beginning and end of the walk were added. On 28 February 2003, M8 was dedicated to the 8<sup>th</sup> Royal Australian Regiment and was unfortunately vandalised in the same year. It was restored in time for the rededication of the main monuments in 2004.

The polished black granite slabs are fixed over a poured concrete core and secured to a concrete pad approximately 4 m down. On the obverse of each monolith are two vertical, cast brass plaques inset into the granite with an honour roll of the surnames and initials of Australian military and non-military personnel who died during the Vietnam war. The border and each person's name are in relief in gilded brass, one person per line with a black patina background. A coating is likely to be protecting the metal from oxidation and tarnish. The source of the 20mm thick granite facing stones has not been documented. Each monolith is capped with a 20 mm thick slab of granite on top.

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## Condition Report on The Vietnam War Memorial, Cherry Tree Walk, Bowral



Fig 6: Monolith M3



Fig 7: Monolith M4



Fig 8: Monolith M5



Fig 9: Monolith M6



Fig 10: Monolith M7



Fig 11: Monolith M8

## **Previous Treatments**

The Memorial has undergone at least one known, but poorly documented restoration treatment after extensive vandalism in 2003. In his 2023 publication which discusses the history of the Memorial, Grahame Tooth writes:

*In 2003 the entire Memorial precinct experienced a terrible bout of vandalism, leaving the Monument in an unstable and unsafe condition. The original granite tiles that were used in the construction of the Monument proved to have an unsuccessful surfacing, combined with a problematic adhesive method used to attach the tiles, which resulted in all of the tiles having to be removed from the Monument.<sup>1</sup>*

The original 1999 small granite "tiles were replaced with large sheets of black granite and fixed the Monument with stainless steel pins"<sup>2</sup>. These are the 20mm thick black polished granite slabs evident today. The source of the both the original and replacement granite tiles is unknown. It is likely that the stainless steel pins and/or adhesives used to fix the tiles to the concrete core are the main cause of the arc shaped cracking that is evident today. As the monument has settled and moved, possibly exacerbated by flood events, the fixings have restrained the granite panels causing the stress to be transferred to the inflexible granite.

The brass plaques with the honour roll were also replaced at this time:

*At the same time, AI Plaques from Canberra replaced the original name plaques with a different style of plaque. The old name plaques found a new home on another Vietnam Veterans' Monument near Scone in New South Wales.<sup>3</sup>*

M8 which was dedicated to the 8<sup>th</sup> RAR in February 2003 and was unfortunately vandalised in the same year. It was restored presumably with the main Monoliths in time for the rededication of the entire Memorial on 28 February 2004.

At some unknown time, someone has applied gold paint to localised areas of the left brass honour roll of M7, presumably in attempt to cover discolouration of the polished gilt brass order.

---

<sup>1</sup> Tooth, Grahame *Vietnam War Memorial Cherry Tree Walk*. Researched and published by Grahame Tooth, 2003 p72.

<sup>2</sup> Ibid.

<sup>3</sup> Ibid.



## **Condition**

### **General**

The Memorial is in fair condition with various cracks and losses evident on the granite panels on all monoliths apart from one (M1). The most prevalent crack types were an arc shaped crack which arched from join to join at the horizontal edge of the panels most likely related to the stainless steel pins and adhesive fixing methods and diagonal cracks across the corners. Possible vandalism was only noted on one of the monoliths M9 which is the most remotely located.

There are cracks and gaps in the cement footings of Monolith 8 which is allowing water ingress underneath the monolith.

Tree branches are overhanging and in contact with some of the monoliths which may cause damage with prolonged contact.

### **Monoliths**

#### **Monolith 1**

M1 is sound and in good condition. There are no losses to the granite edges or cracks evident. The gilt inscription is in excellent condition.

The top surface of the granite has grey appearance as the polished surface has been dulled by weathering (Fig 13).

There is a small patch of lichen at the rear capping granite panel on the northeast corner (Fig 14). There is a small loss of the elastomeric sealant from the south side of the edge of the upper inscription panel. On northern top panel between capping slab some buckling of black elastomeric sealant approx. 180 mm in from the edge.

Some minor corrosion on the folded northeast edge of the stainless steel panel and minor horizontal corrosion scratch on the north face extending from the corner edge. Dirt, twigs and grass fragments around the stainless steel panel (Fig 12).

Surface dirt all over as expected from outdoor exposure and some cobwebs across the granite joints. Localised yellow streaky accretions evident on all faces.



Fig 12: M1 stainless steel skirt at base rivets at rear



Fig 13: M1 top showing loss of polished surface



Fig 14: M1 lichen upper north corner

#### **Monolith 2**

M2 is sound and in fair condition. The gilt inscription is in excellent condition.



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Diagonal cracks are evident in the granite across the corner of the following panels: i) obverse on lower panel in lower southwest corner (Fig 16) and ii) north facade lower panel lower west corner (Fig 15).



Fig 15: M2 diagonal crack and small loss lower north panel at southwest corner & tea staining on stainless steel skirt at base



Fig 16: M2 diagonal crack lower front west panel at southwest corner

Chips and losses from the granite are evident in the following areas: i) obverse west facade lower panel lower north corner small loss, ii) rear east facade abrasion on lower panel northeast corner, and iii) rear east facade medium loss on lower panel southeast corner (Fig 18).



Fig 17: M2 grey area at edge loss of polished surface



Fig 18: M2 loss at lower southeast corner

Notable on this monolith, the edges of several panels are white and rough in texture indicating the polished surface has been removed possibly by abrasion. The locations are i) west face, north edge of the central inscription panel (Fig 17), ii) west face north edge of the panel above inscription panel and ii) east face south edge of the rear lower panel.

Lichen is growing across the joints and into adjacent panels in the following areas: i) obverse, upper joint between capping stone and upper granite slab towards the south side, ii) obverse, a small patch on joint between upper and inscription stone towards the south side, and ii) south façade, upper joint between capping stone and upper granite slab towards the west side.

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### Condition Report on The Vietnam War Memorial, Cherry Tree Walk, Bowral

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There are small, localised losses of the black elastomeric sealant.

Localised yellow streaky accretions on all faces and surface dirt all over as expected from outdoor exposure.

Tea staining and surface corrosion on the stainless steel panel (Fig 15), a horizontal scratch on the south panel extending towards the east edge.

### Monolith 3

M3 is sound and in fair condition. The gilt title inscription and brass plaques are in excellent condition (Fig 19).

Several cracks above and below the joins primarily on the obverse panels. Seven arc shaped cracks beginning and ending at a join; i) four on the east façade (Fig 19) ii) two on the south side (Fig 20) and iii) one on the north side.

Three, quarter circle cracks extending from the join curving into the granite panel on the east façade.

The casuarina needles are falling and resting on the top of the monolith, some extending over the edge and can be seen from the ground. Surface dirt all over. Cobwebs notable on the lower proper left brass plaque on the right side (Fig 21). Lower levels tend to have more dry needles and grass cuttings adhered to the vertical granite surface.

Some localised losses of the black elastomeric sealant, notably at the front central join to capping stone which has allowed water run off to drip down the front of the monument and deposit dirt particles leaving a vertical streak (Fig 19).



Fig 19: M3 Obverse east showing 3 arc shaped cracks and central drip mark from top join

Condition Report on The Vietnam War Memorial, Cherry Tree Walk, Bowral

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Fig 20: M3 south showing two arc shaped cracks



Fig 21: M3 obverse build up of cobwebs

#### **Monolith 4**

M4 is sound and in fair condition. The gilt title inscription and brass plaques are in excellent condition (Fig 22).

There are six arc shaped cracks beginning and ending at a join: i) four arc shaped cracks at the joints on obverse east façade, ii) one on the south façade and iii) one on the north façade (Fig 23).

No arc shaped cracks at the joins of the rear west facade. There is one small, curved crack (30 mm from each end of crack) above the lower most joint towards the southern edge on the west façade.

Some areas at the edge of granite panels which are grey in appearance from loss of the polished surface (Fig 23)

Surface dirt as per other monoliths, concentrated at the lower panels. Localised bird droppings on rear.



Fig 22: M4 obverse east showing four arc shaped cracks



Fig 23: M4 north showing arc shaped crack and grey unpolished edge

### **Monolith 5**

M5 is sound and in fair condition. The gilt title inscription and brass plaques are in excellent condition.

There are ten arc shaped cracks beginning and ending at a join: i) six arc shaped cracks at the joints on the obverse North façade and ii) four arc shape cracks at the joints on the rear south façade. Most of these cracks are very shallow and the cracks are not open and obvious.

The lower northeast corner has a small loss of granite at the obverse and a crack across the 20mm granite thickness on east edge (Fig 26). There is a small chip from the granite at the lower southwest corner. There is one diagonal crack is evident across the corner on east façade, above the first joint up from ground towards the rear south. There are two diagonal cracks above the 'N' in COUNTRY (Fig 24). There is no damage evident on the east facade.

There are localised small losses of black elastomeric sealant.

Surface dirt as per other monoliths, concentrated at the lower panels. Dried grass cuttings stuck to the base level on all sides (Fig 25). Localised bird droppings on rear. Cobwebs evident, notably across joins. Some casuarina pine needles evident on upper surface and also stuck to upper vertical surfaces.



Fig 24:  
M5  
open  
crack  
above  
Country



Fig 25:  
M5 rear  
south  
dirt at  
base

Fig 26: M5 crack and  
loss northeast edge

### **Monolith 6**

M6 is sound and in fair condition. The gilt title inscription and brass plaques are in excellent condition.

There are twelve arc shaped cracks beginning and ending at a join; i) eight arc shaped cracks at the joints on obverse west facade all are open cracks apart from the one at the joint below the "AM" in Memoriam which is a closed crack and shallow (Fig 27), ii) four arc shaped cracks on the rear north façade, primarily in the two lower joints.



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On the lower course of the west façade there is a long crack towards southern edge that starts 280mm in from corner and runs diagonally to the outer (south) edge with significant loss of granite at the corner indicating this may have been the impact area causing the crack (Fig 28). The loss from the 20mm granite slab edge is also evident on the south façade. There is no damage evident on the north facade.

Branches from a cherry blossom tree planted in the incomplete circle are starting to encroach on the rear of this monolith (Fig 29).

There are localised small losses of the black elastomeric sealant.

Surface dirt as per other monoliths, concentrated at the lower panels. Cobwebs evident, notably across joins. Some casuarina pine needles stuck to vertical surfaces and presumably amassing on the top of the monolith.



Fig 27:  
M6  
obverse  
two  
curved  
cracks  
between  
brass  
plaques



Fig 28:  
M6 loss  
on  
southwest  
edge and  
crack on  
west  
front  
facade



Fig 29: M6  
overhanging  
tree

### Monolith 7

M7 is sound and in fair condition. The gilt title inscription and brass plaques are in good condition.

There are nine arc shaped cracks beginning and ending at a join; i) three on the obverse west facade all are open cracks, ii) two on the rear east façade, and iii) four on the north façade, with a hard white substance in the joints in the centre of the arc shape cracks on the lower two (Fig 31).

Gold paint has been applied to the lower corners of the left honour roll plaque (Fig 30) and sections of the right brass edge, presumably in attempt to cover discolouration of the polished brass edge.

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The two central edge panels to the west are unpolished so the granite appears grey in colour (Fig 31). There is no damage evident on the west facade.

There are localised small losses of black elastomeric sealant.

Surface dirt as per other monoliths, concentrated at the lower panels. Cobwebs evident, notably across joins, some with needle pines caught in the web. Localised yellow specks on surface (Fig 31).

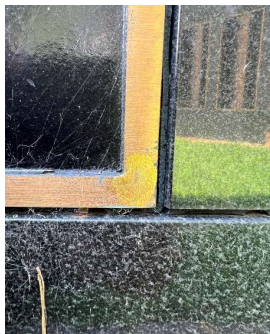


Fig 30: M7 obverse west gold paint in corner of left plaque



Fig 31: M7 north unpolished grey granite edge and hard white accretion below arc crack above

### **Monolith 8**

M8 dedicated to the 8<sup>th</sup> Battalion of the Royal Australian Regiment is sound and in fair condition.

On the obverse north façade, a small loss is evident from the granite on the lower northwest corner, which is also evident on the west façade. Two small chips from the black granite on the northeast lower corner of the obverse, are also evident on the eastern facade. The east facade has a horizontal crack 300 mm long approximately halfway down the granite slab extending from the front edge and ends towards the centre of the slab. There is no damage evident on the south slab and the top granite slab is in good condition.

The protective coating on the brass plaque on the top has depleted and the brass has oxidised so the previously polished relief letters and borders are now a combination of brown oxide and green copper patina which is reducing the legibility of the text (Figs 32-33). The stippled rough background has also lost the applied brown patina in localised areas resulting in grey patches. This upward facing plaque is exposed to increased weathering.

The brass plaque on the obverse north façade is in an excellent state of preservation, aided by its vertical placement, the protective coatings appear to be intact.

The concrete footing is cracked with some loss of the concrete revealing the brick sub-base and enabling water ingress (Fig 34).

There are cobwebs in localised areas, concentrated around the plaques. Yellow accretions are evident in localised areas all over the granite.

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Fig 32: Oxidised brass plaque on top



Fig 33: Detail of top oxidised brass plaque



Fig 34: west side with damaged cement footings

**Monolith 9**

M9 is sound and in poor condition.

This monolith appears to have suffered from vandalism as the obverse west face and side north face have impact points with complex cracks running off them (Figs 35 & 37).

The obverse west facade has four cracks extending from central impact point which is to the south of K in 'WALK' (Fig 35) all cracks run through to the edges. There are two small chips on the northwest edge approx. 260mm down from horizontal join also evident on the north facade.



Fig 35: M9 Extensive cracking to obverse inscription panel



Fig 36: M9 losses to granite on SW edge below cracking on inscription panel

The north facade appears to have had two impact points which have a series of complex cracks running off them (Fig 37). The cracks run horizontally end to end,



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however the vertical cracks are blind, the longest one extending 620mm down the slab.

On the rear east facade an adhesive sticker is attached near the top, with the words "HERO" (Fig 38). No other damage is evidence on this façade.

The south facade has a horizontal crack on the upper block running from the east edge towards the centre and measuring approx. 160mm. There is a small chip and crack on the southwest edge of granite corresponding with extensive damage to the obverse (Fig 36).

Urine stain on the south lower panels towards the front.

Some localised loss of black elastomeric pointing and a messy application of black sealant on the upper block towards west end.

Cherry tree branches overhang from the north and are in contact with top of the monolith (Fig 38).

Surface dirt as per other monoliths, concentrated at the lower panels with a build up of dried grass on inset base.



Fig 37: M9 Extensive cracking to north granite panel



Fig 38: M9 reverse showing tree branches touching monolith and adhesive sticker

### Summary of Key Threats

The main threats to the Memorial are vandalism, inherent vice due to the construction of the Memorial, as seen by the arc shaped cracks appearing, possible mechanical and staining damage from overhanging tree branches and flooding from the adjacent stream causing settlement, movement.

## **Recommendations**

The Memorial would benefit from regular maintenance as well as conservation treatments by specialist outdoor conservators and stonemasons to stabilise cracked elements and replace extensively damaged slabs of granite.

**Regular maintenance** would include the following:

- Washing down the monoliths every 2-3 months to remove dirt build up, urine stains and accumulation of cobwebs and plant material. Dry brush the tops and sides to remove casuarina pine needles and cobwebs, then hand wash with non-ionic detergent and sponges. Extreme care taken when washing around the gilded lettering. No water blasting.
- Trimming tree branches overhanging or in contact with the monoliths.
  - Monitor cherry blossom trees encroaching on rear of Monolith 6 and Monolith 9 and trim as necessary.
  - Large casuarina trees overhanging Monoliths 4,5, 6 dropping needles on top and sometimes suspended on vertical face.
- Regular weeding around the monoliths
- Monitor the pointing and engage monument expert to replace missing or damaged areas to ensure there is no water ingress.
- This work could be conducted by Council staff with training by a specialist monument conservator.

**Conservation treatments** to stabilise the condition:

It is recommended that a specification is prepared prior to any conservation works to determine the full scope of works, locations of damages and techniques and materials to be used in the restoration.

- Clean all monoliths first
- Minimise water ingress into the monoliths by
  - Remove and replace elastomeric sealant where it has failed or is missing in joints. Care at edges where cracks are adjacent to the joins as these will require patching.
  - Repair damaged cement footings surrounding Monolith 8
- It is recommended that the very damaged granite slabs are replaced as the extensive cracking is compromising the integrity and aesthetics of the individual monolith. It is suggested that two extensively cracked granite panels on Monolith 9; the cracked inscription panel on the obverse (west) and the cracked panel on the north side, are replaced with matching 20mm thick polished granite panels.
- Cracked panels can be consolidated and patched with conservation grade adhesives and fillers.
- Holes and losses in the granite to be patch repaired with conservation grade materials to match the surrounding areas to ensure continuity of the surface and to present a cared for appearance.
- The unpolished grey areas to be repolished to match the surrounding surface finish.
- The oxidised plaque on Monolith 8 requires a conservation treatment to improve legibility, reduction of corrosion products, repatination of the background surface,

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polishing and regilding the tops of the relief letter and application of a protective coating.

- The gold paint on brass plaque border of Monolith 7 to be removed and once the underlying surface is revealed an appropriate treatment can be conducted to match the surrounding finish.
- Regular application of a biocide to remove the lichen from Monoliths 1 & 2 and other monoliths as required.
- Polish the stainless steel skirt at the base of Monoliths 1 & 2.
- Gilt lettering touched up as required.
- Consideration to improve lighting around the Memorial.